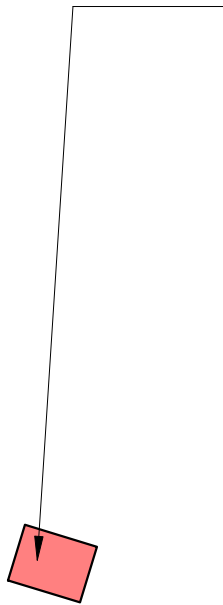


ABBREVIATION LEGEND

| | | | | | |
|------|--|-------------|-------------------------|-----|------------------------|
| & | And | INSUL | Insulated or Insulation | T&G | Tongue And Groove |
| @ | At | INT | Interior | TLT | Toilet |
| AFF | Above Finished Floor | LO | Low | TME | To Match Existing |
| BSMT | Basement | MAX | Maximum | TO | Top Of |
| BYND | Beyond | MO | Masonry Opening | TOC | Top Of Concrete |
| BOT | Bottom | MECH | Mechanical | TPD | Toilet Paper Dispenser |
| CLG | Ceiling | MIN | Minimum | T/D | Telephone/Data |
| CLR | Clear | MTL | Metal | TYP | Typical |
| CMU | Concrete Masonry Unit | [N] | New | UNO | Unless Noted Otherwise |
| COL | Column | NIC | Not In Contract | U/S | Underside |
| CONC | Concrete | NO | Number | VIF | Verify In Field |
| CONT | Continuous | NOM | Nominal | W/ | With |
| CPT | Carpet | NTS | Not To Scale | WD | Wood |
| CT | Ceramic Tile | OC | On Center | | |
| DBL | Double | OH | Overhang | | |
| DEMO | Demolish or Demolition | OPP | Opposite | | |
| DIA | Diameter | OZ | Ounce | | |
| DIM | Dimension | PLUMB | Plumbing | | |
| DIMS | Dimensions | PLYD | Plywood | | |
| DN | Down | PT | Pressure Treated | | |
| DR | Door | PNT | Paint or Painted | | |
| DWG | Drawing | PVC | Polyvinyl Chloride | | |
| EA | Each | RBR | Rubber | | |
| EL | Elevation | RCP | Reflected Ceiling Plan | | |
| ELEC | Electrical | RD | Roof Drain | | |
| ELEV | Elevation | REQD | Required | | |
| EQ | Equal | RM | Room | | |
| [E] | Existing | SIM | Similar | | |
| EXT | Exterior | SPEC | Specification | | |
| FIXT | Fixture | SPK | Sprinkler or Speaker | | |
| FLR | Floor | SSTL | Stainless Steel | | |
| GWB | Gypsum Wall Board | STC | Sound Transmission | | |
| HVAC | Heating, Ventilating, And Air Conditioning | Coefficient | | | |
| | | STL | Steel | | |
| | | STRUCT | Structural | | |

LOCATION PLAN



CODE INFORMATION

1. Occupancy Use: R5 1 Family

2. Counstruction Type: 5B

3. Ground Snow Load: 20 PSF

4. Wind Speed: 100 MPH

5. Seismic Catagory: N/A

6. Weathering: Severe

7. Frost Line Depth: 36"

8. Termitte: Moderate to Heavy

9. Design Load:

Roof:

Live Load: 30 PSF

Dead Load: 12 PSF

Attic Areas:

Live Load: 20 PSF

Dead Load: 12 PSF

All Other Areas:

Live Load: 40 PSF

Dead Load: 12 PSF

Building / Site Characteristics

1. Number of Stories: 2.5 + basement

2. Height of Building: ~30'

3. Area - Largest Floor: 1st Floor: 1445 SF

4. New Building Area: 851 SF

5. Volume of New Structure: 18,225 SF

Codes:

Building Subcode (NJAC 5:23-3.14)

Plumbing Subcode (NJAC 5:23-3.15)

Electrical Subcode (NJAC 5:23-3.16)

Energy Subcode (NJAC 5:23-3.18)

Mechanical Subcode (NJAC 5:23-3.20)

One- and two- family Dwelling Subcode (NJAC 5:23-3.21)

Rehabilitation Sub-code

Designation (NJAC 5:23-6.1): Alteration

GENERAL NOTES

- 1.Remove and legally dispose of all partitions noted for removal and associated debris such as (E) electrical + (E) plumbing as required to accommodate new construction.
- 2.Patch + repair (E) walls or partitions to remain where adjacent partitions have been demolished, removed, or replaced. New finishes shall match adjacent finishes unless noted otherwise.
- 3.Remove, store, clean, and reinstall (E) air supply, distribution grills and registers only as required to accommodate new construction and as required to avoid damage during construction activities.
- 4.All new exteriors windows, doors, openings, and penetrations shall be carefully flashed and counter flashed in accordance with standard practices for construction and in accordance with manufacturer's recommendations. Typical unless noted otherwise.
5. Contractor to size all plumbing

The contractor is required to visit the site and review all conditions noted or drawn. Report any discrepancies or interfering field conditions to the architect prior to construction in writing. The contractor is responsible for the coordination of new and existing building conditions to achieve the correct fit and finish of the proposed construction. This is a requirement of the construction of the documents.

ZONING + USE INFORMATION

Zoning / Use / Construction Classification

| | | | |
|--|----------------|--|-----------|
| Street Address: | 52 CAROLIN RD. | | |
| Block: 3505 | Lot: 3 | | Qual: N/A |
| Zoning Classification: R-1 Single Family | | | |
| FEMA Zone: N/A | | | |

Exsting Use Group: R-5 One Family

Proposed Use Group: R-5 One Family

Construction Classification:

| Regulation | | Requirement | Existing | Proposed | Conforms |
|-----------------------------------|------------------------|------------------------------|---------------------------------|-----------|----------|
| Lot | Min. Lot Area (SF) | N/A | N/A | No Change | N/A |
| | Min. Lot Frontage (ft) | N/A | N/A | No Change | N/A |
| | Min Lot Width (ft) | N/A | N/A | No Change | N/A |
| | Min. Lot Depth (ft) | N/A | N/A | No Change | N/A |
| Yards | Min. Front Yard (ft) | 35' | 36'-4" | No Change | Yes |
| | Min Rear Yard (ft) | 30' or 30" | 75'-1" | 55'-11" | Yes |
| | Min. Side Yard (ft) | 6' one side / 10' other side | 12' one side / 11.5" other side | No Change | Yes |
| Min. Gross Floor Area (SF) | | N/A | N/A | N/A | N/A |
| Max Coverage Principal Building | | 25% | 10.69% | 16.88% | Yes |
| Max. Height (ft / stories) | | ~35' / 2.5 Stories | ~29.3' / 2.5 Stories | No Change | Yes |
| Max Coverage Imperv Surface | | N/A | N/A | N/A | N/A |
| Max. Impervious (front yard) | | N/A | N/A | N/A | N/A |
| Min. Open Space | | N/A | N/A | N/A | N/A |
| Max. width of principal structure | | N/A | N/A | N/A | N/A |
| Max Impervious surfaces | | N/A | N/A | N/A | N/A Yes |

SCOPE OF WORK

NEW 2-STORY ADDITION WILL BE ADDED TO THE BACK OF AN EXISTING 2 STORY HOUSE / THIS IS AN ALTERATION AND ADDITION.

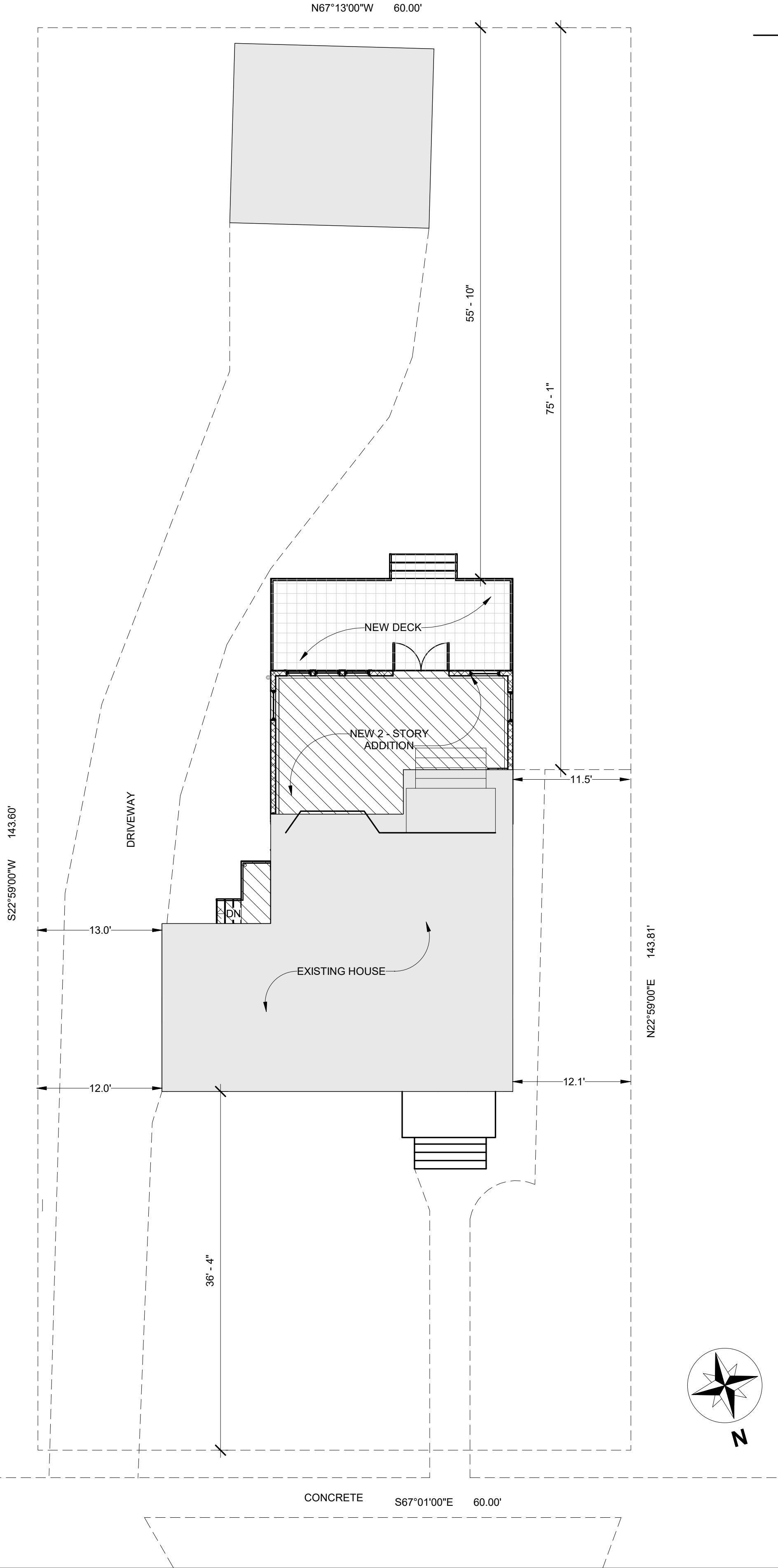
FIRST FLOOR
NEW POWDER ROOM, KITCHEN, FAMILY ROOM IN NEW ADDITION PLUS A DECK.
NEW ELECTRICAL. EXISTING BACK EXTERIOR WALL WILL BE REMOVED AND REPLACED WITH A BEAM.

SECOND FLOOR
REPLACE FIXTURES AND FINISHES IN (E) HALL BATH. NEW MASTER SUITE IN THE ADDITION. NEW CLOSET IN EXISTING BEDROOM. NEW ELECTRICAL.

THIRD FLOOR
NEW BEDROOM AND CLOSET IN EXISTING ATTIC.
NEW BATHROOM IN ATTIC ADDITION.
NEW ELECTRICAL + LIGHTING.

SHEET LIST

- T-1 TITLE SHEET
- A-1 ENTRY FLOOR PLAN
- A-2 SECOND FLOOR PLAN
- A-3 ATTIC FLOOR PLAN
- A-4 EXTERIOR ELEVATIONS
- E-1 ELECTRICAL AND LIGHTING PLAN (BASEMENT + FIRST FLOOR + THIRD FLOOR)
- P-1 PLUMBING RISER DIAGRAM AND SUPPLY DIAGRAM
- S-1 FOUNDATION PLAN FLOOR FRAMING PLANS, AND WALL SECTION
- S-2 STRUCTURAL DETAILS

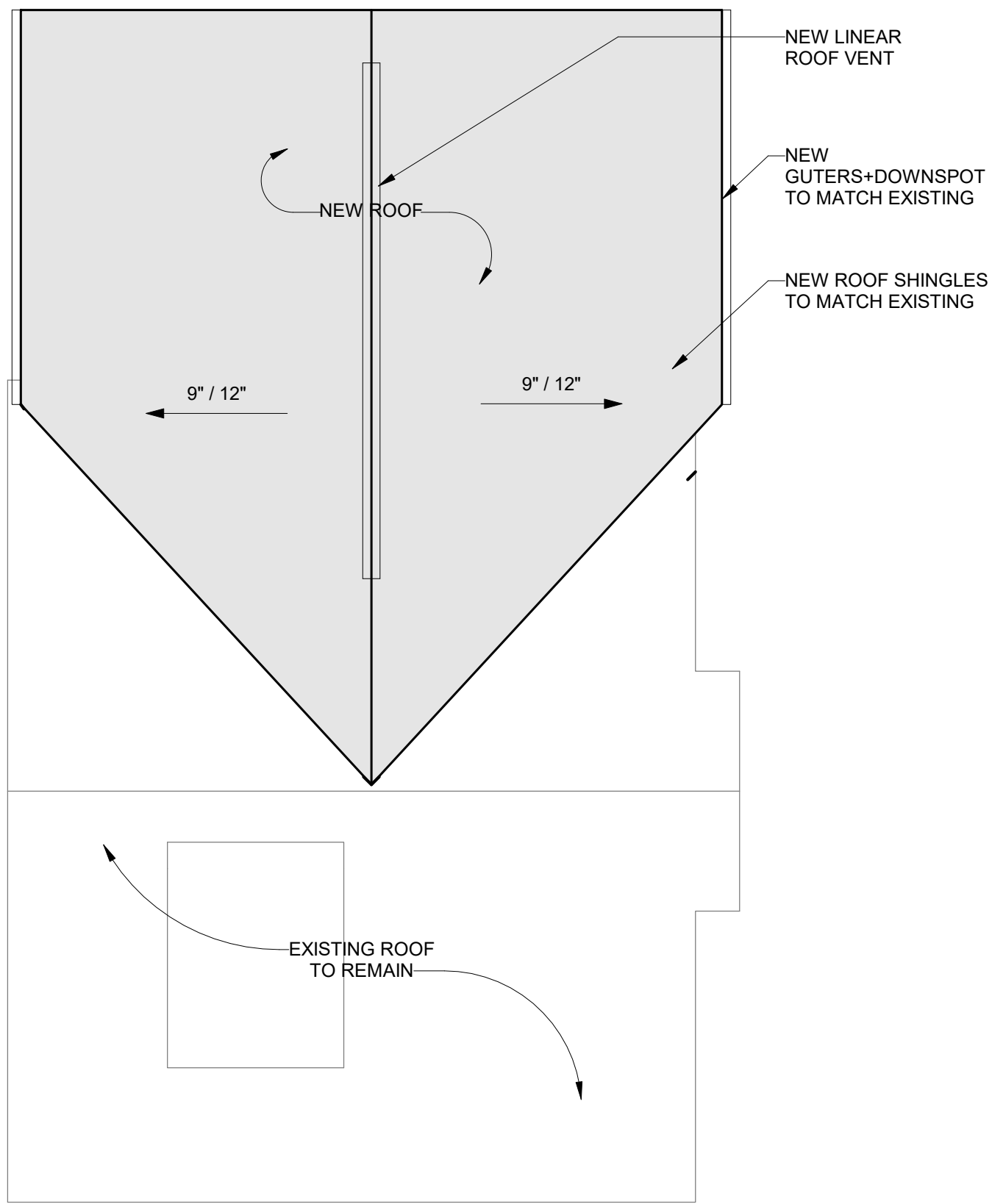


0 Site Plan
1/8" = 1'-0"

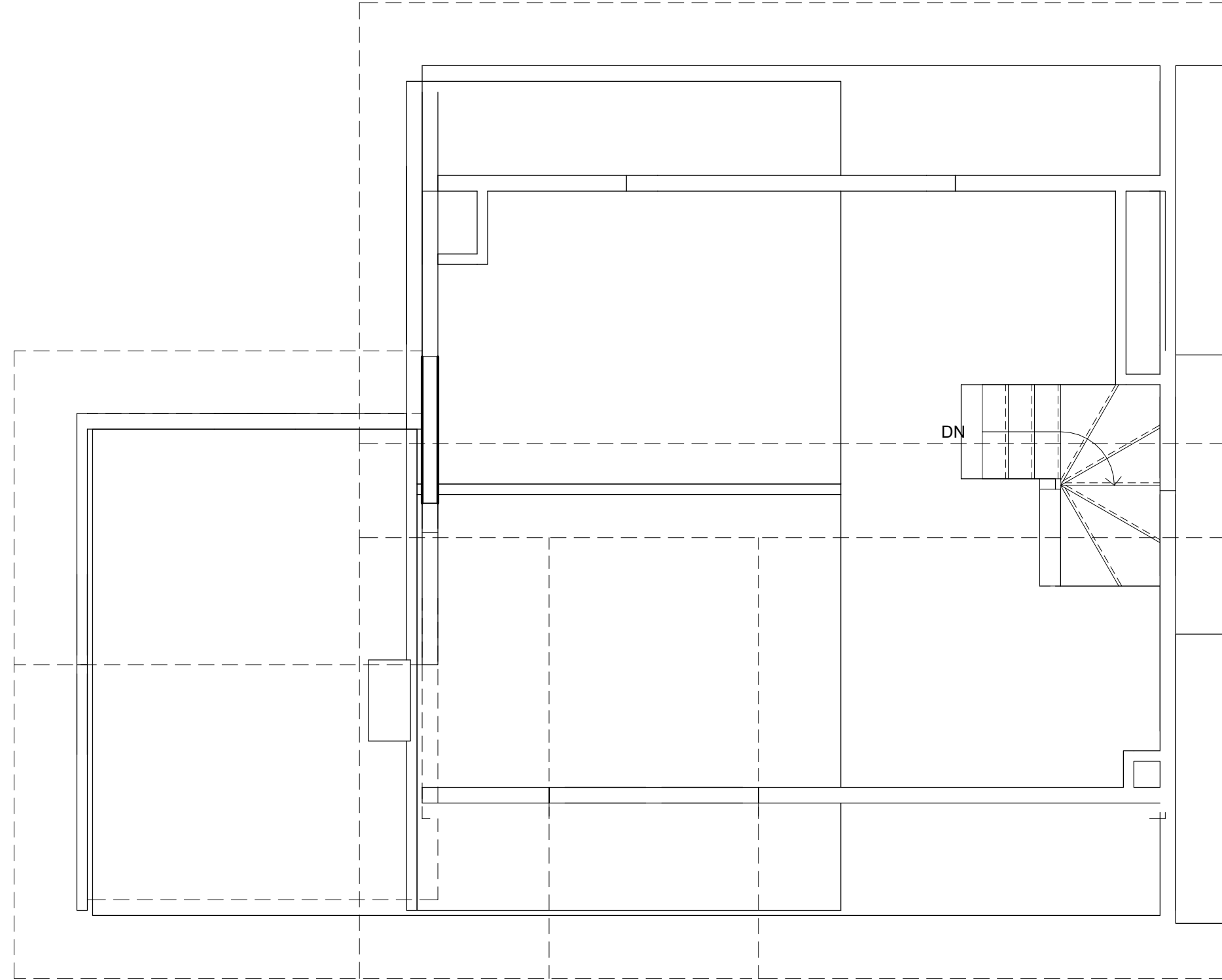
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| DRAWN | CHECKED |
| DATE | |
| SCALE | As indicated |
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| DWG | 09.25.19 |
| SHEET | |

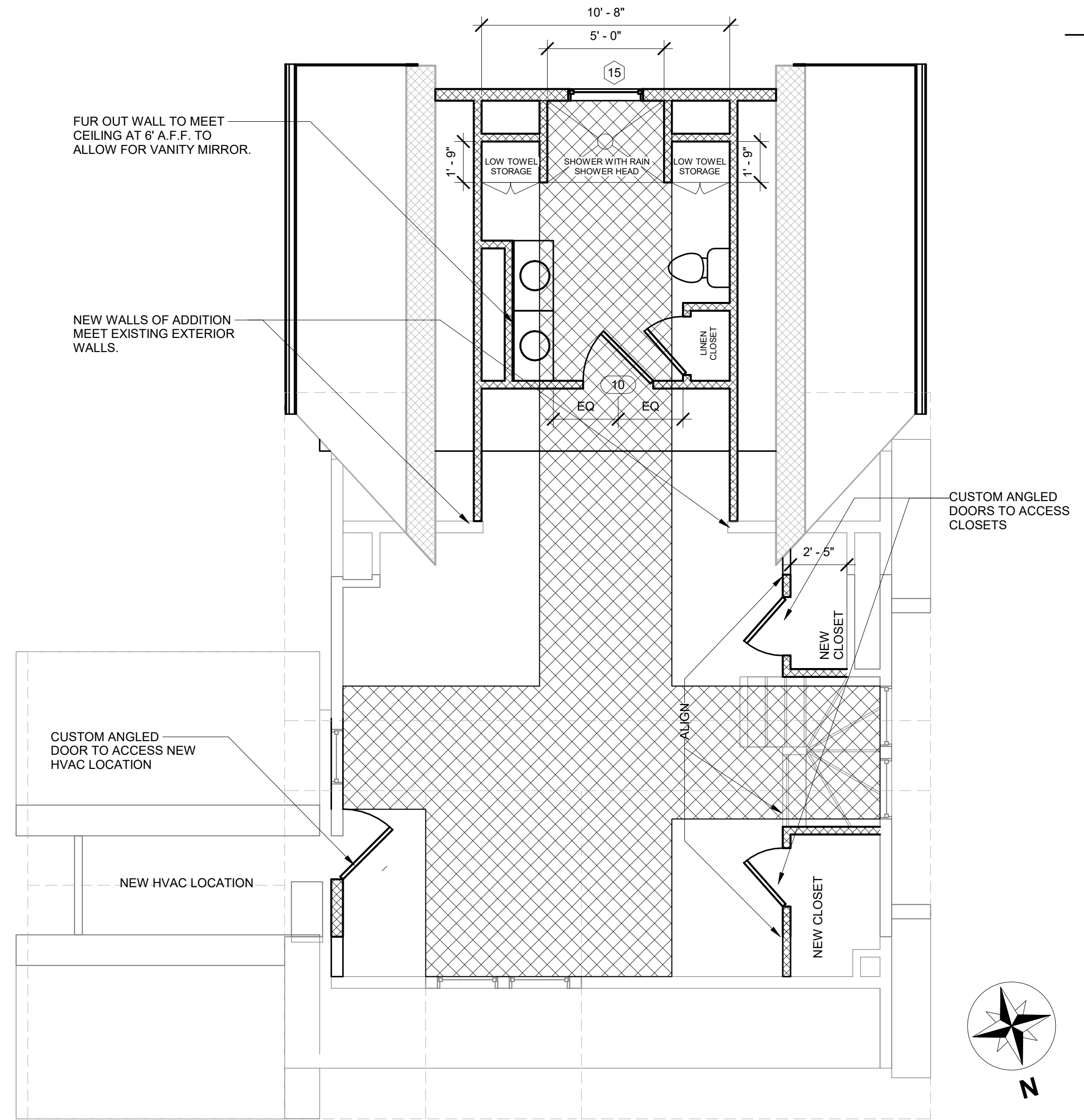
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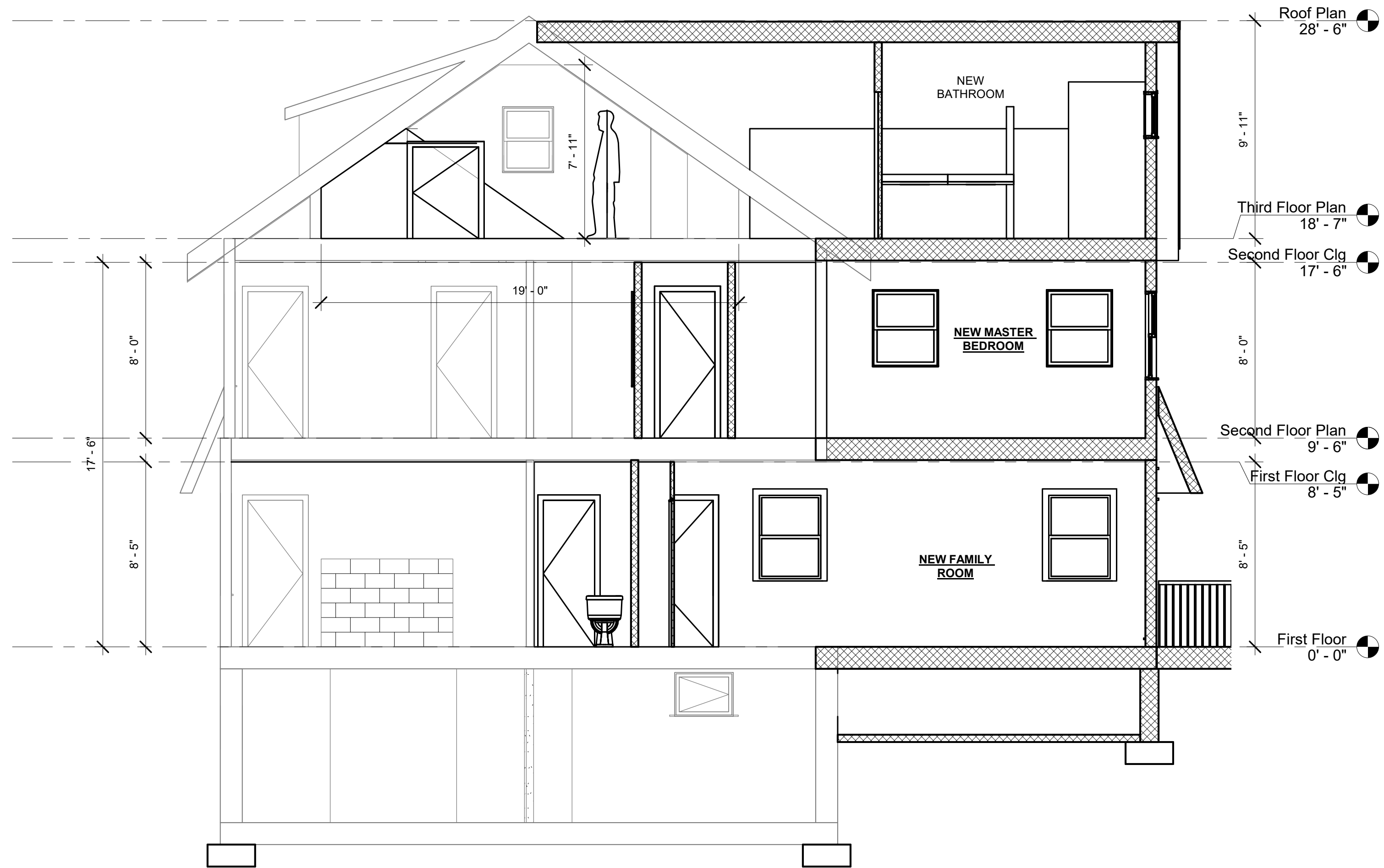
1 Roof Plan
3/16" = 1'-0"



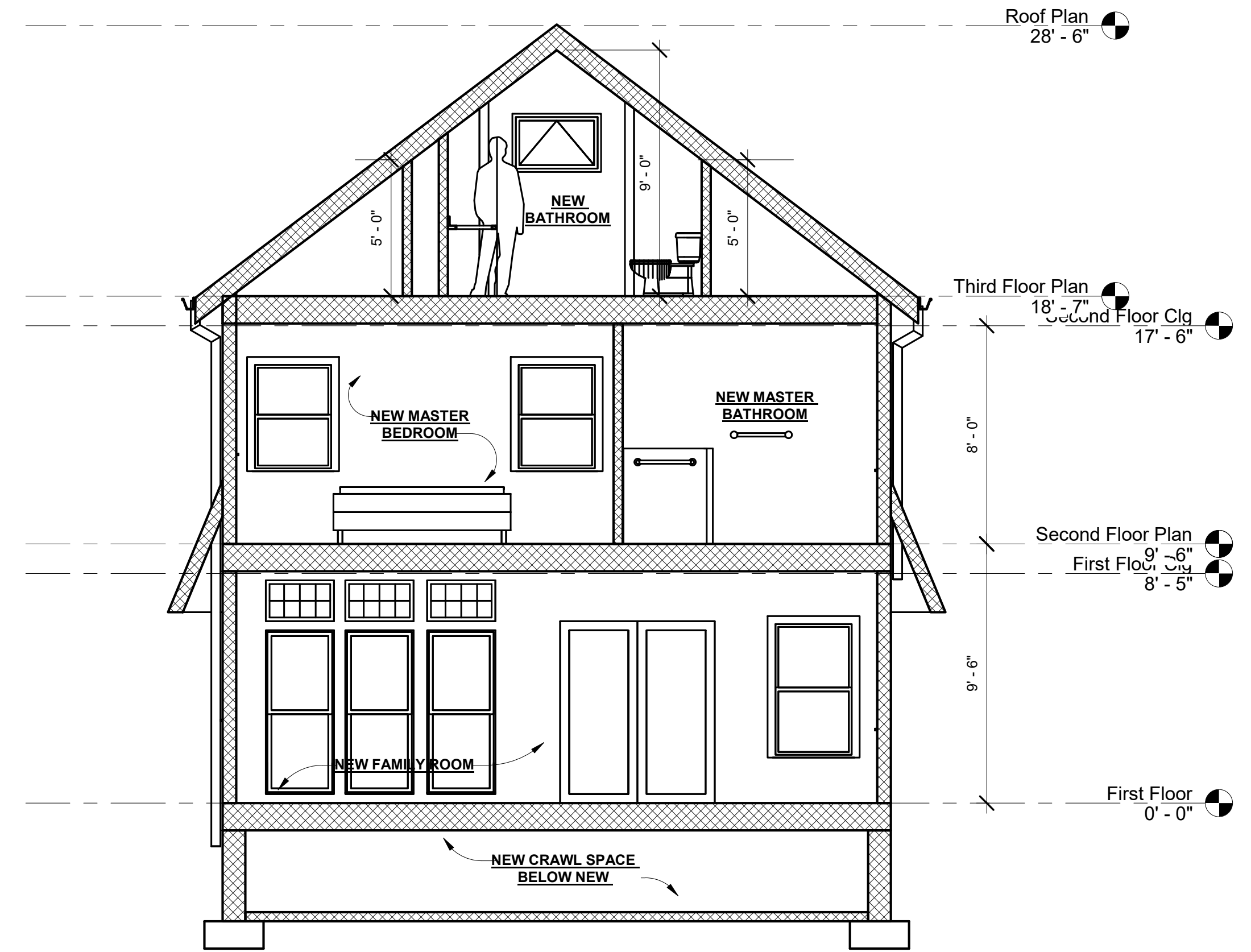
2 Existing- Third Floor Plan
1/4" = 1'-0"



3 Proposed- Attic Floor Plan
1/4" = 1'-0"



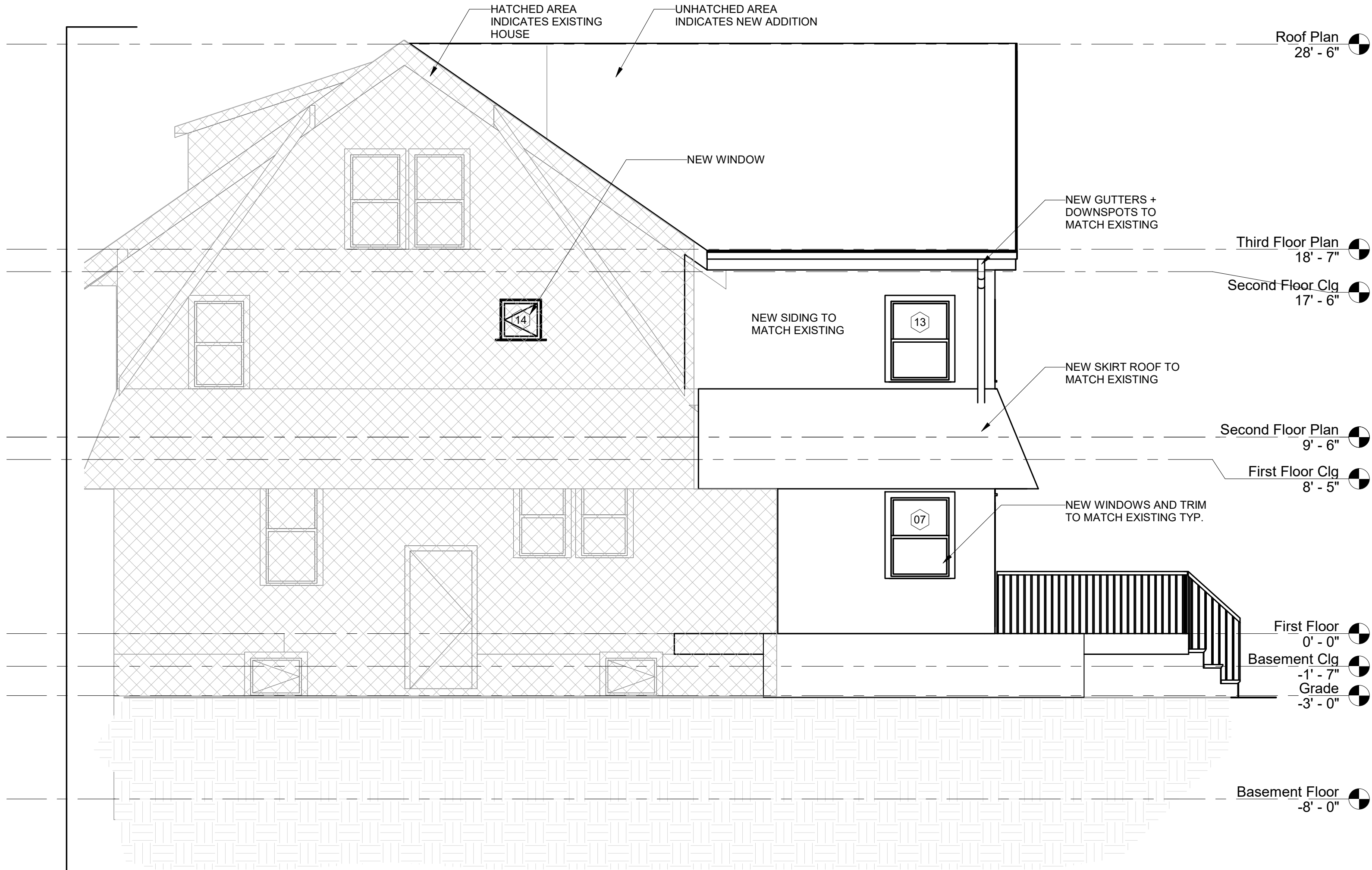
4 Section 4
1/4" = 1'-0"



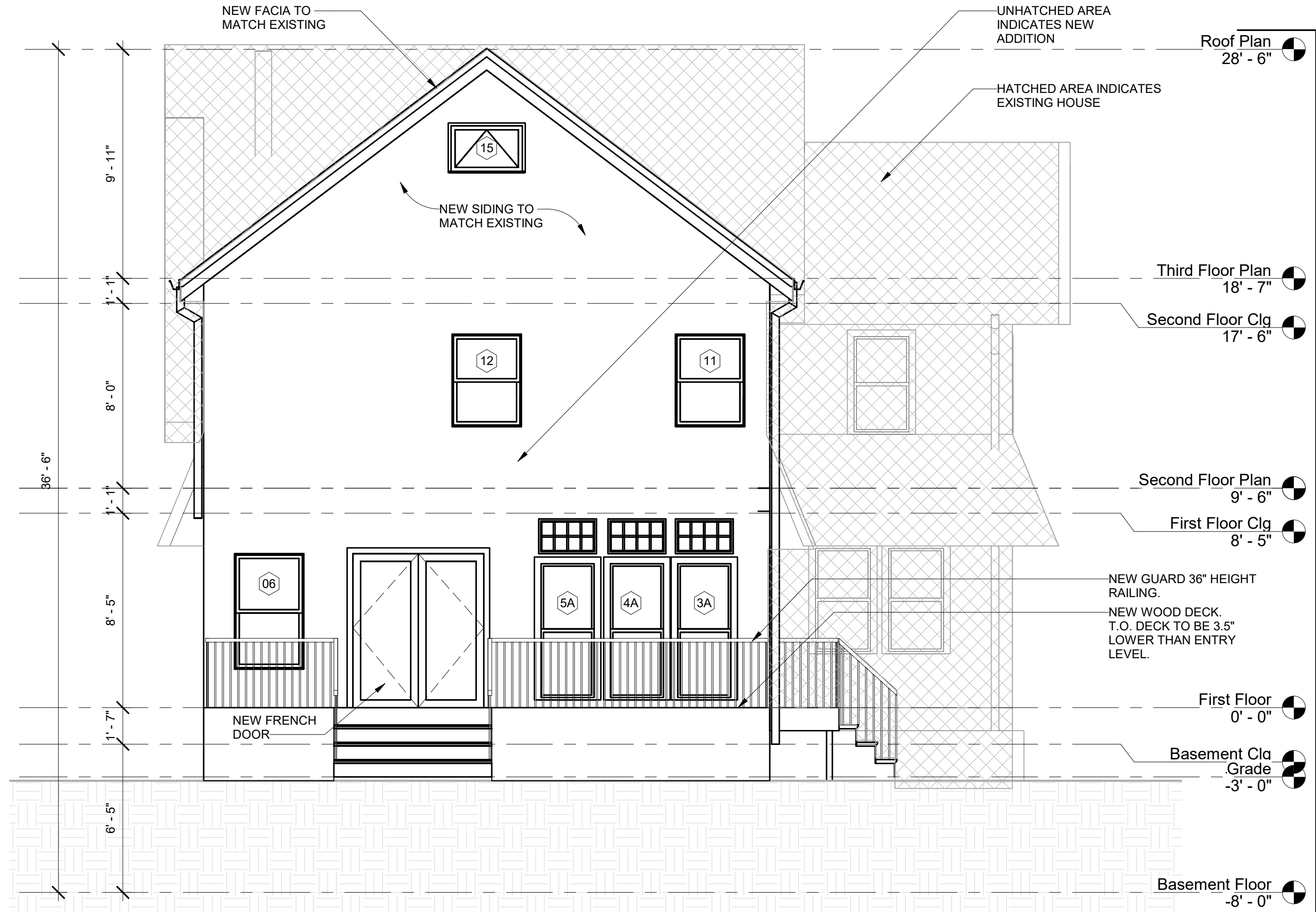
5 Section 5
1/4" = 1'-0"

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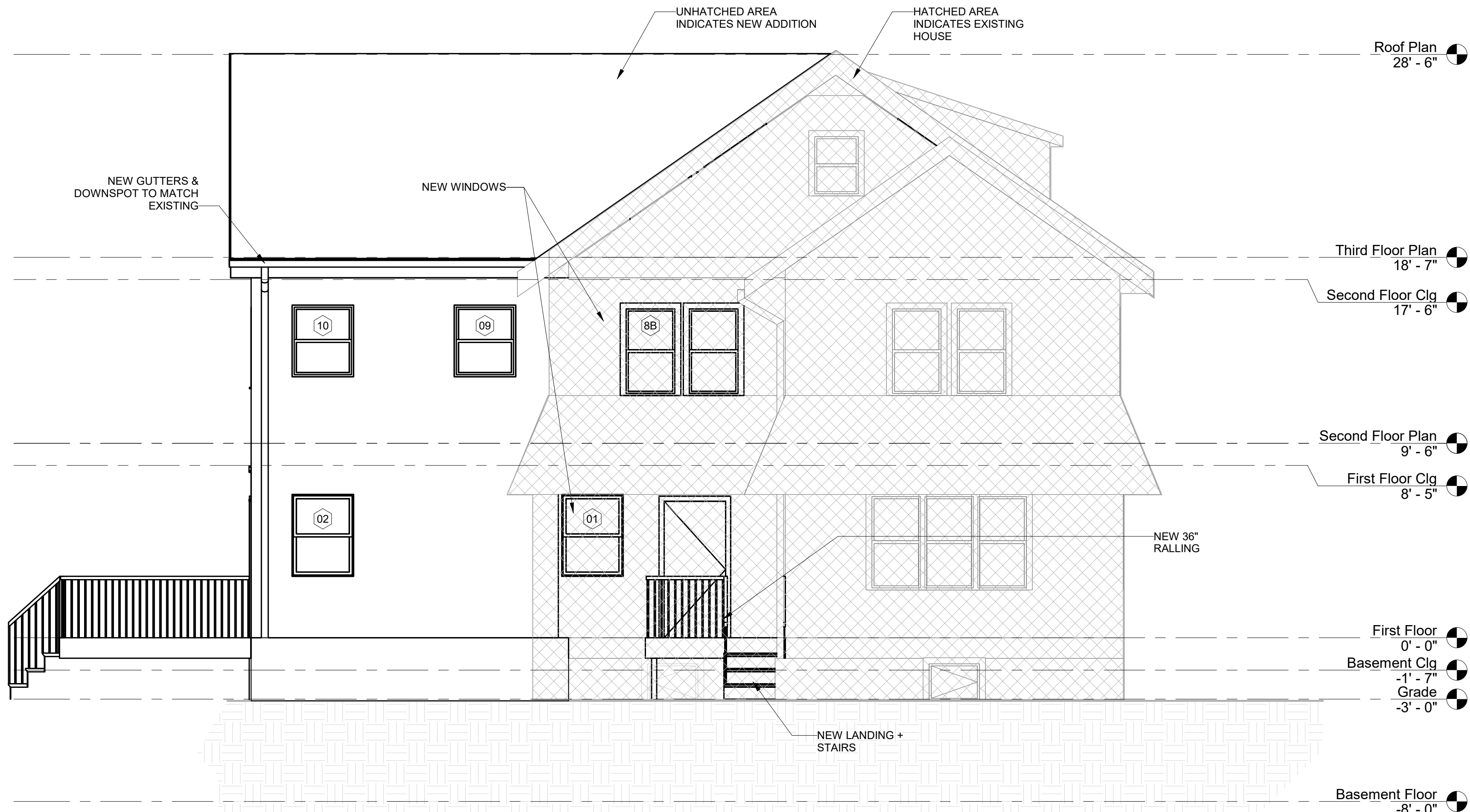
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| SCALE | As indicated |
| JOB | |
| DWG | 09.25.19 |
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② WEST (SIDE) EXTERIOR ELEVATION
1/4" = 1'-0"



① PROPOSED-SOUTH (BACK) EXTERIOR ELEVATION
1/4" = 1'-0"



③ EAST (SIDE) EXTERIOR ELEVATION
1/4" = 1'-0"



④ 3D View From Backyard



PHOTO OF EXISTING WEST (SIDE)
ELEVATION



PHOTO OF EXISTING SOUTH (BACK)
ELEVATION



PHOTO OF EXISTING NORTH WEST
CORNER OF HOUSE

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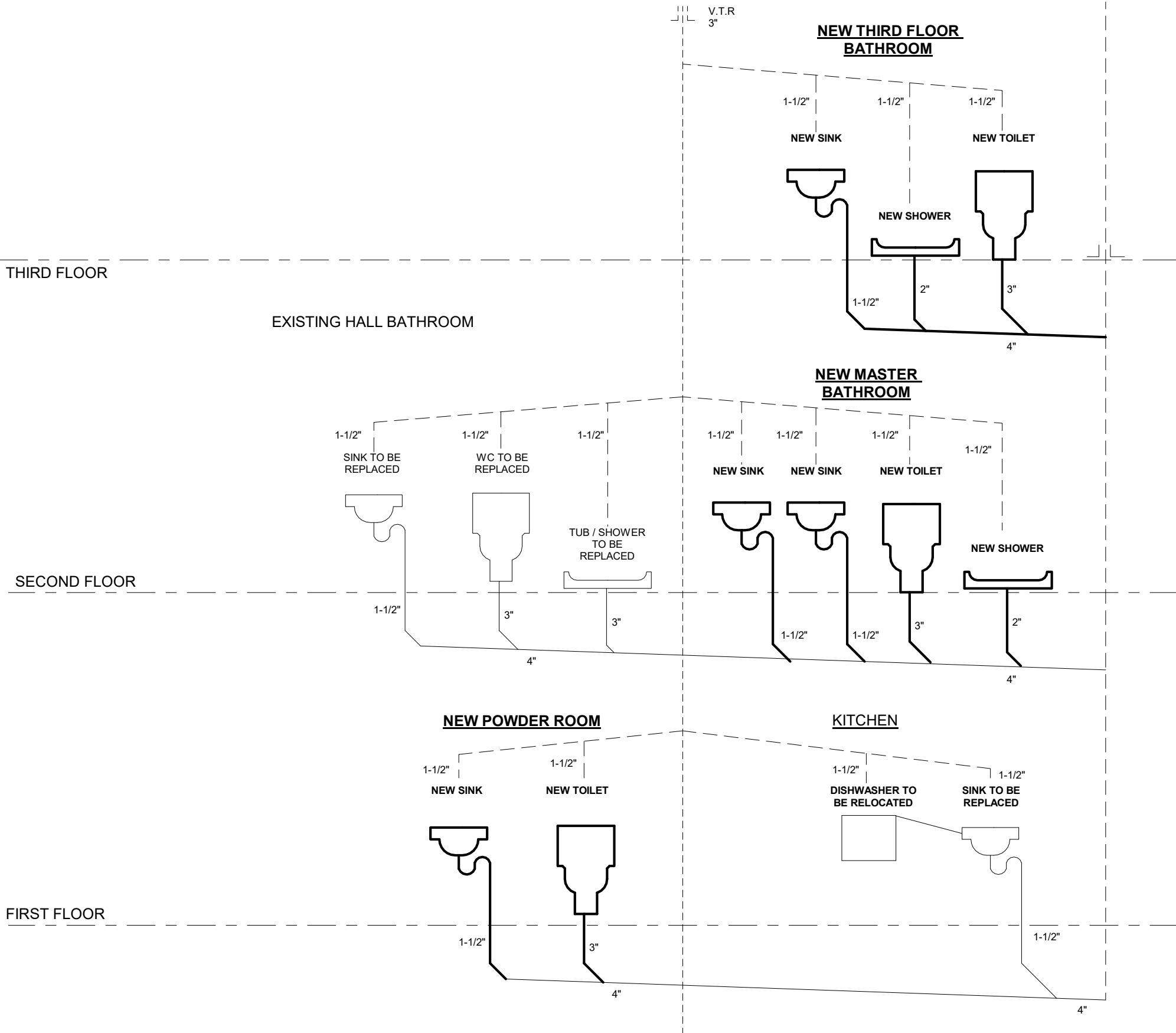
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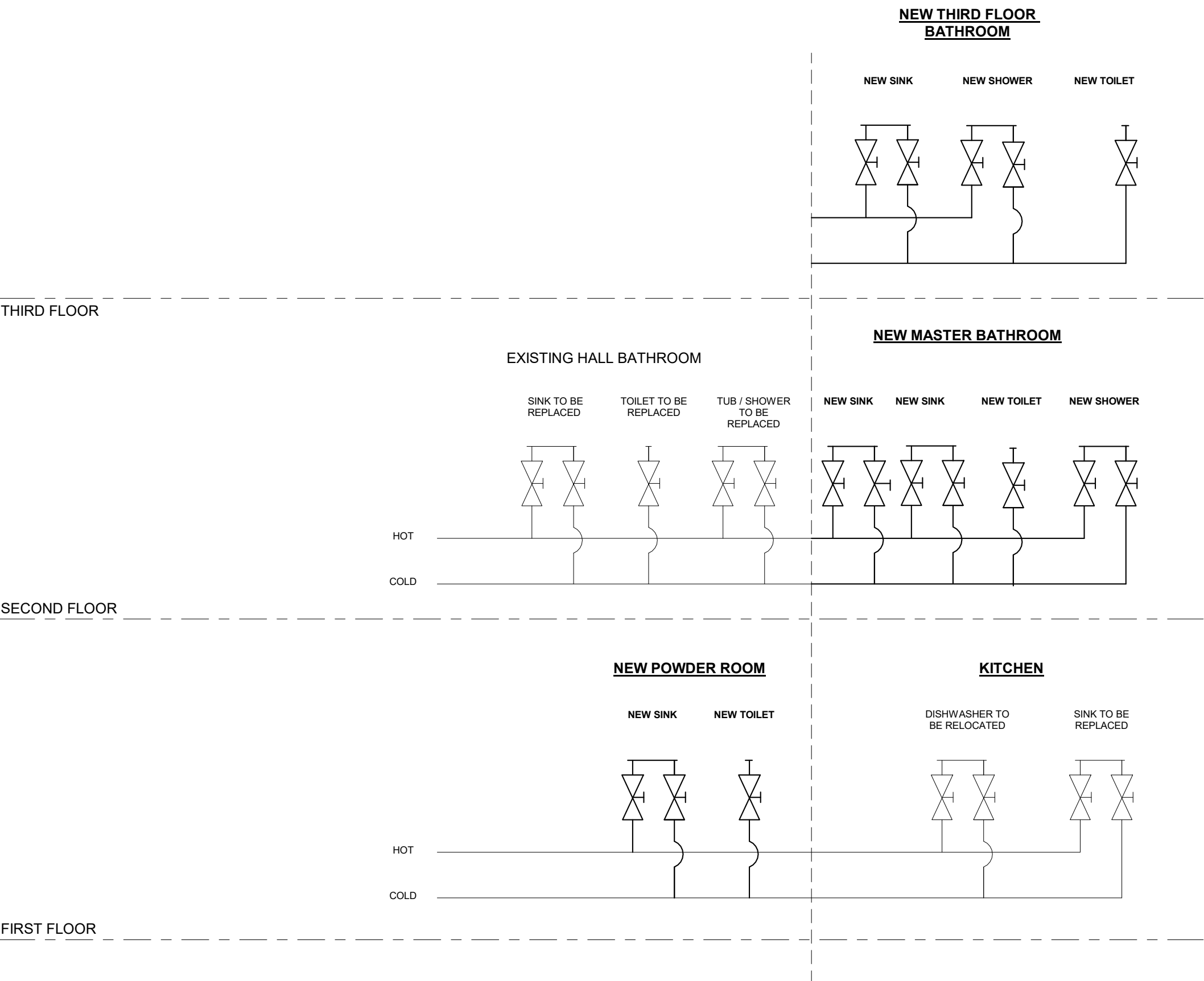
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| SCALE | 1/4" = 1'-0" |
| JOB | |
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| A-4 | |

PLUMBING RISER DIAGRAM



SUPPLY DIAGRAM



PLUMBING NOTES

1. PLUMBING INFORMATION SHOWN IS SCHEMATIC ONLY. ACTUAL INSTALLATION SHALL COMPLY WITH ALL GOVERNING CODES. ANY ADDITION INFORMATION THAT MAY BE REQUIRED BY LOCAL SUBCODE SHALL BE PROVIDED BY PLUMBING CONTRACTOR.
2. PLUMBING INFORMATION UTILIZING 2015 NATIONAL STANDARD PLUMBING CODE TABLE B.5.2.
3. EXTEND HOT AND COLD WATERLINES FROM THE EXISTING SERVICE TO THE NEW FIXTURES SHOWN ON DRAWINGS
4. SUPPLY LINES SHALL BE 1/2" DIAMETER COPPER WITH SWEAT-SOLDERED JOINTS OR 1/2" DIAMETER PEX PIPING.
5. SANITY WASTE LINE FROM THE NEW FIXTURES SHALL CONNECT INTO THE EXISTING WASTE WATER DISPOSAL SYSTEM. WASTE LINE MAY BE COPPER OR PLASTIC. PROVIDE CLEANOUTS IN CHANGES OF THE DIRECTION OF THE FLOW.
6. PROVIDE WATER SUPPLY AND DRAINAGE FITTINGS FOR ALL FIXTURES ARE SELECTED BY THE OWNER.

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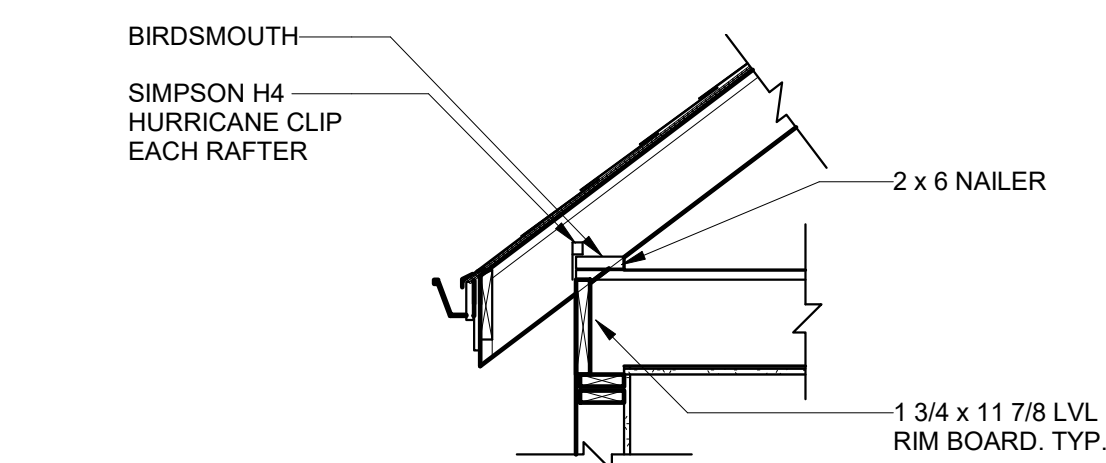
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| DRAWN | CHECKED |
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| SCALE | 1/4" = 1'-0" |
| JOB | |
| DWG | 09.25.19 |
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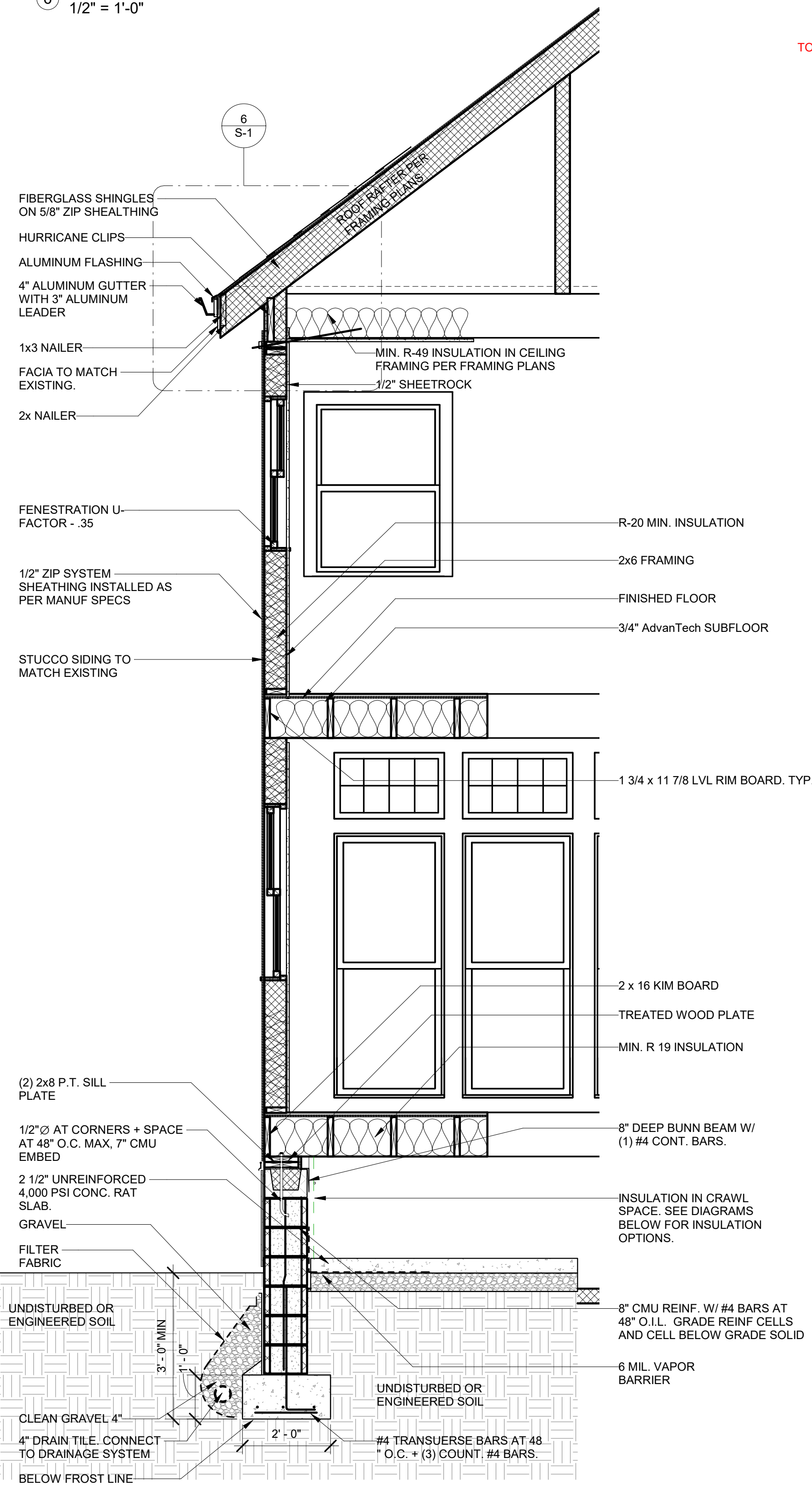
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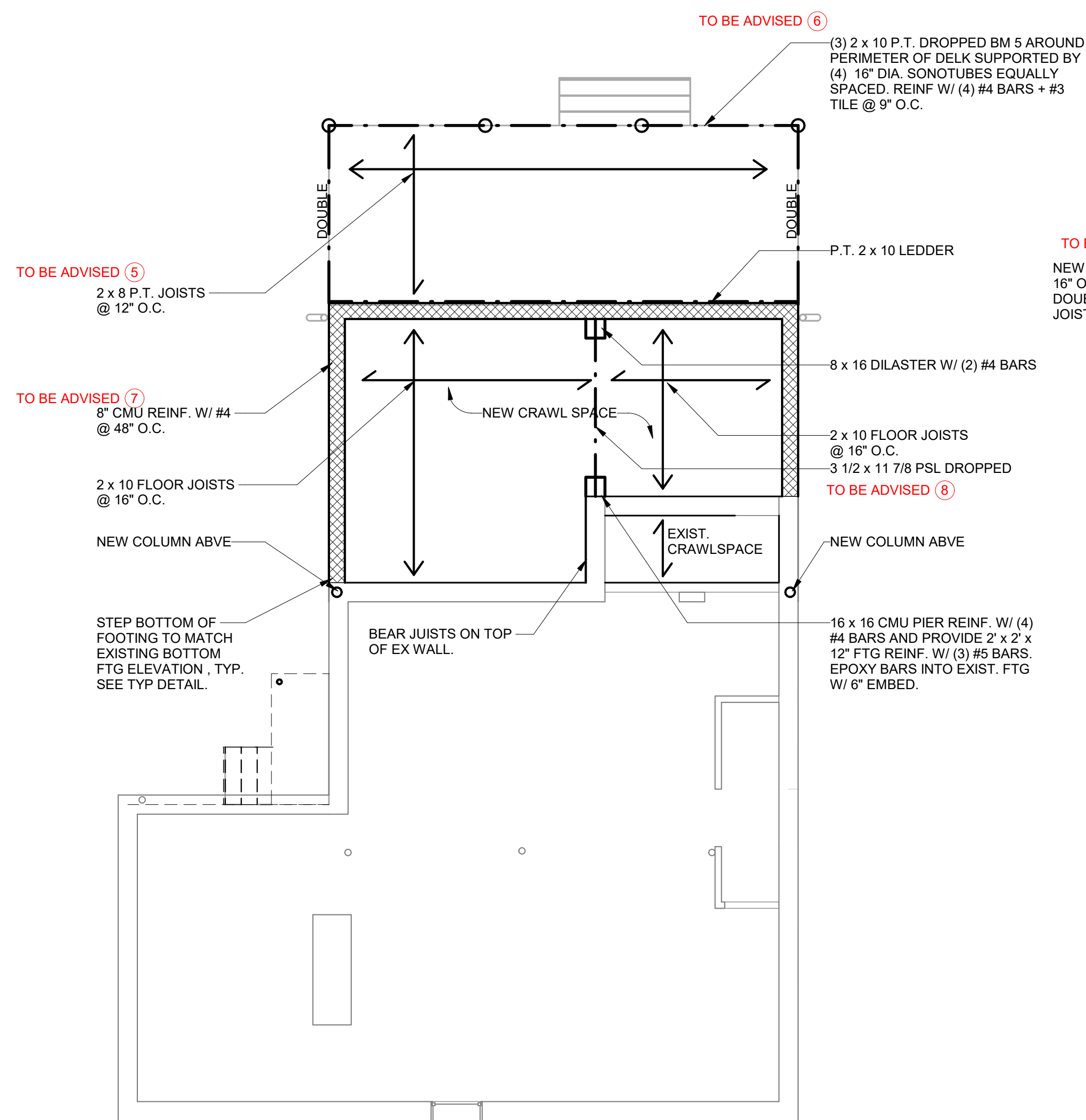
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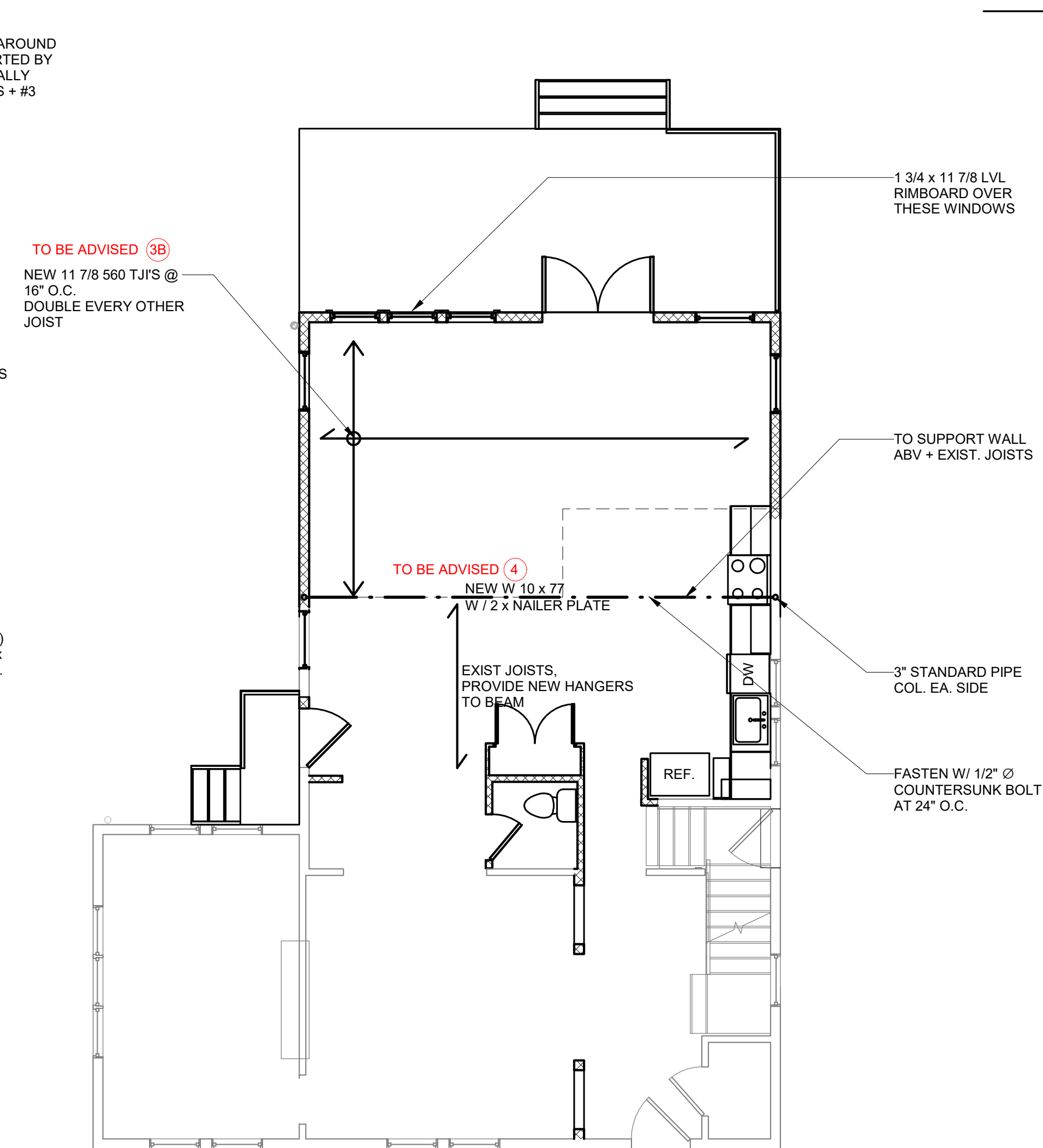
6 SECTION DETAIL
1/2" = 1'-0"



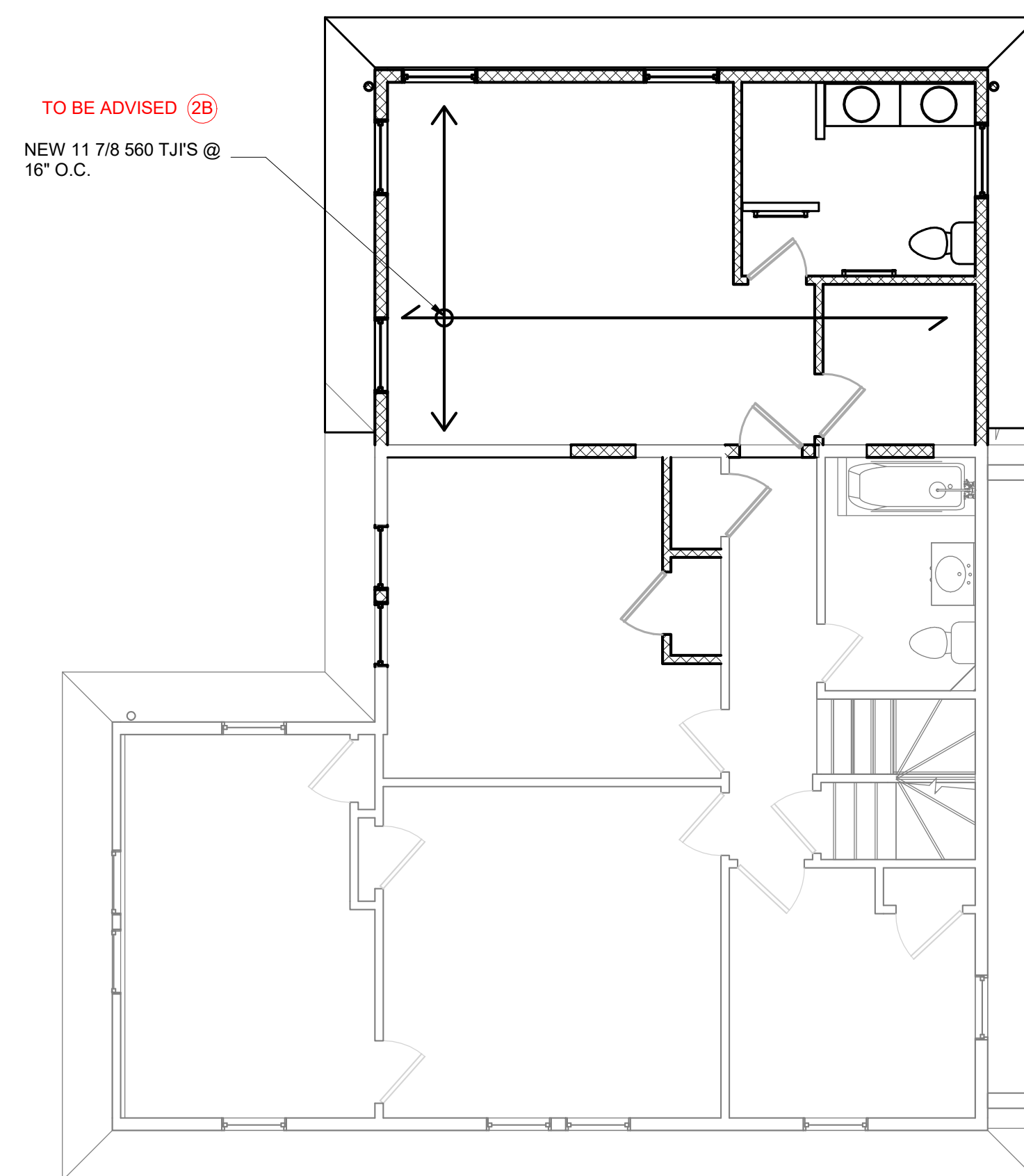
5 Wall Section
1/2" = 1'-0"



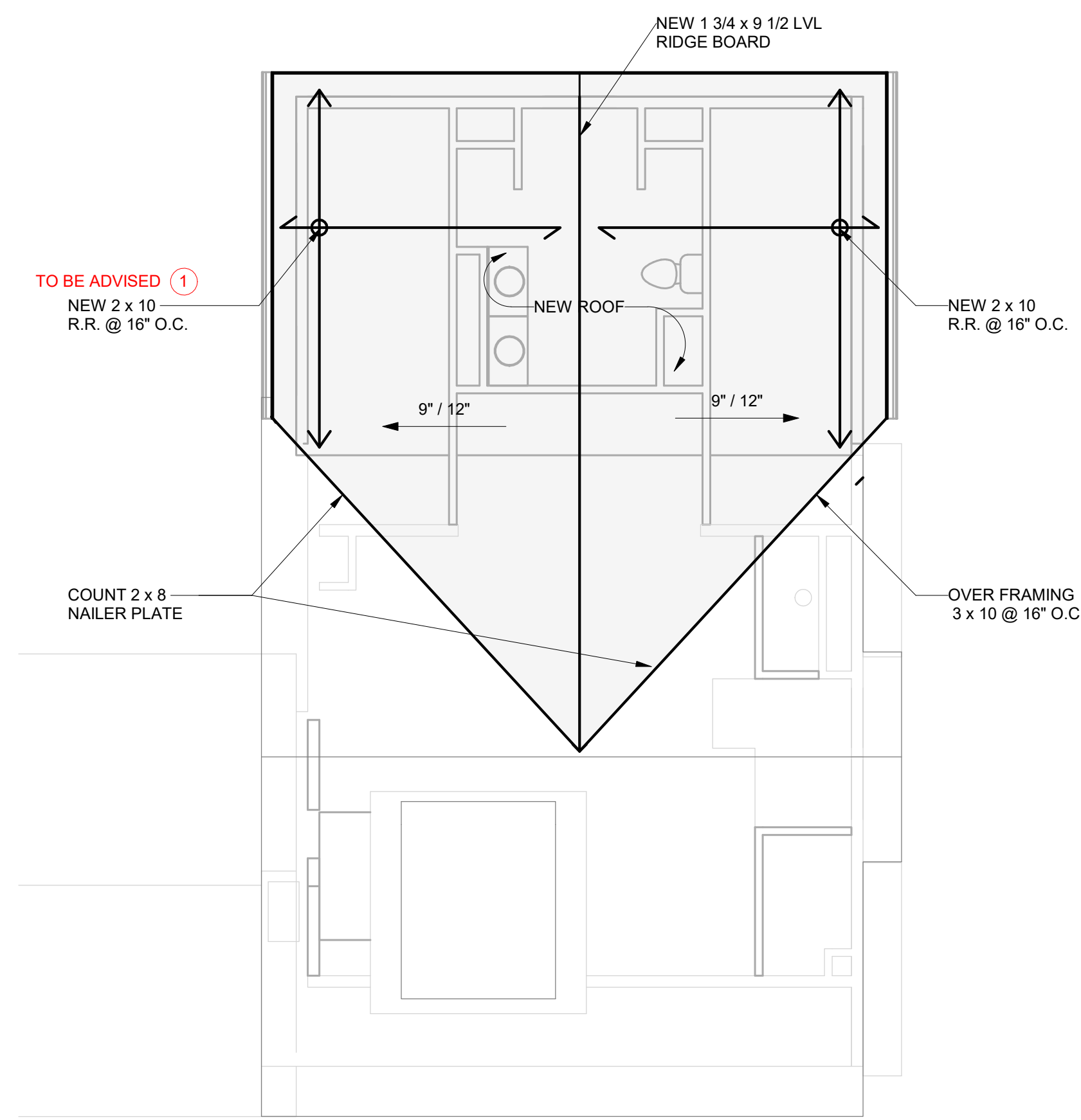
① Structural - Basement Floor
3/16" = 1'-0"



② 11_Structural - Second Floor Framing Plan
3/16" = 1'-0"



3 12 Structural - Third Floor Framing Plan
3/16" = 1'-0"



4 Structural - Roof Plan
3/16" = 1'-0"

