

ABBREVIATION LEGEND

& And	INSUL Insulated or Insulation	T&G Tongue And Groove
@ At	INT Interior	TLT Toilet
AFF Above Finished Floor	LO Low	TME To Match Existing
BSMT Basement	MAX Maximum	TO Top Of
BYND Beyond	MO Masonry Opening	TOC Top Of Concrete
BOT Bottom	MECH Mechanical	TPD Toilet Paper Dispenser
CLG Ceiling	MIN Minimum	TD Telephone/Data
CLR Clear	MTL Metal	TYP Typical
CMU Concrete Masonry Unit	[N] New	UNO Unless Noted Otherwise
COL Column	NIC Not In Contract	U/S Underside
CONC Concrete	NO Number	VIF Verify In Field
CONT Continuous	NOM Nominal	W/ With
CPT Carpet	NTS Not To Scale	WD Wood
CT Ceramic Tile	OC On Center	
DBL Double	OH Overhang	
DEMO Demolish or Demolition	OPP Opposite	
DIA Diameter	OZ Ounce	
DIM Dimension	PLUMB Plumbing	
DIMS Dimensions	PLYD Plywood	
DN Down	PT Pressure Treated	
DR Door	PNT Paint or Painted	
DWG Drawing	PVC Polyvinyl Chloride	
EA Each	RBR Rubber	
EL Elevation	RCP Reflected Ceiling Plan	
ELEC Electrical	RD Roof Drain	
ELEV Elevation	REQD Required	
EQ Equal	RM Room	
[E] Existing	SIM Similar	
EXT Exterior	SPEC Specification	
FIXT Fixture	SPK Sprinkler or Speaker	
FLR Floor	SSTL Stainless Steel	
GWB Gypsum Wall Board	STC Sound Transmission	
HVAC Heating, Ventilating, And Air Conditioning	STL Steel	
	STRUCT Structural	

LOCATION PLAN



CODE INFORMATION

- Occupancy Use: R5 1 Family
- Construction Type: 5B
- Ground Snow Load: 20 PSF
- Wind Speed: 100 MPH
- Seismic Category: N/A
- Weathering: Severe
- Frost Line Depth: 36"
- Termite: Moderate to Heavy
- Design Load:
 - Roof:
 - Live Load: 30 PSF
 - Dead Load: 12 PSF
 - Attic Areas:
 - Live Load: 20 PSF
 - Dead Load: 12 PSF
 - All Other Areas:
 - Live Load: 40 PSF
 - Dead Load: 12 PSF

Building / Site Characteristics

- Number of Stories: 2.5 + basement
- Height of Building: ~30'
- Area - Largest Floor: 1st Floor: 1445 SF
- New Building Area: 851 SF
- Volume of New Structure: 18,225 SF

Codes:

Building Subcode (NJAC 5:23-3.14)
 Plumbing Subcode (NJAC 5:23-3.15)
 Electrical Subcode (NJAC 5:23-3.16)
 Energy Subcode (NJAC 5:23-3.18)
 Mechanical Subcode (NJAC 5:23-3.20)
 One- and two- family Dwelling Subcode (NJAC 5:23-3.21)
 Rehabilitation Sub-code Designation (NJAC 5:23-6.1):
 Alteration

GENERAL NOTES

- Remove and legally dispose of all partitions noted for removal and associated debris such as (E) electrical + (E) plumbing as required to accommodate new construction.
- Patch + repair (E) walls or partitions to remain where adjacent partitions have been demolished, removed, or replaced. New finishes shall match adjacent finishes unless noted otherwise.
- Remove, store, clean, and reinstall (E) air supply, distribution grills and registers only as required to accommodate new construction and as required to avoid damage during construction activities.
- All new exteriors windows, doors, openings, and penetrations shall be carefully flashed and counter flashed in accordance with standard practices for construction and in accordance with manufacturer's recommendations. Typical unless noted otherwise.
- Contractor to size all plumbing

The contractor is required to visit the site and review all conditions noted or drawn. Report any discrepancies or interfering field conditions to the architect prior to construction in writing. The contractor is responsible for the coordination of new and existing building conditions to achieve the correct fit and finish of the proposed construction. This is a requirement of the construction of the documents.

ZONING + USE INFORMATION

Zoning / Use / Construction Classification	
Street Address:	52 CAROLIN RD.
Block: 3505	Lot: 3
Qual: N/A	
Zoning Classification: R-1 Single Family	
FEMA Zone: N/A	
Existing Use Group: R-5 One Family	
Proposed Use Group: R-5 One Family	

Regulation		Requirement	Existing	Proposed	Conforms
Lot	Min. Lot Area (SF)	N/A	N/A	No Change	N/A
	Min. Lot Frontage (ft)	N/A	N/A	No Change	N/A
	Min. Lot Width (ft)	N/A	N/A	No Change	N/A
	Min. Lot Depth (ft)	N/A	N/A	No Change	N/A
Yards	Min. Front Yard (ft)	35'	36'-4"	No Change	Yes
	Min. Rear Yard (ft)	30' or 30%	75'-11"	55'-11"	Yes
	Min. Side Yard (ft)	6' one side / 10' other side	12' one side / 11.5" other side	No Change	Yes
Min. Gross Floor Area (SF)		N/A	N/A	N/A	N/A
Max Coverage Principal Building		25%	10.69%	16.88%	Yes
Max. Height (ft / stories)		~35' / 2.5 Stories	~29.3' / 2.5 Stories	No Change	Yes
Max Coverage Imperv Surface		N/A	N/A	N/A	N/A
Max. Impervious (front yard)		N/A	N/A	N/A	N/A
Min. Open Space		N/A	N/A	N/A	N/A
Max. width of principal structure		N/A	N/A	N/A	N/A
Max Impervious surfaces		N/A	N/A	N/A	N/A Yes

SCOPE OF WORK

NEW 2-STORY ADDITION WILL BE ADDED TO THE BACK OF AN EXISTING 2 STORY HOUSE / THIS IS AN ALTERATION AND ADDITION.

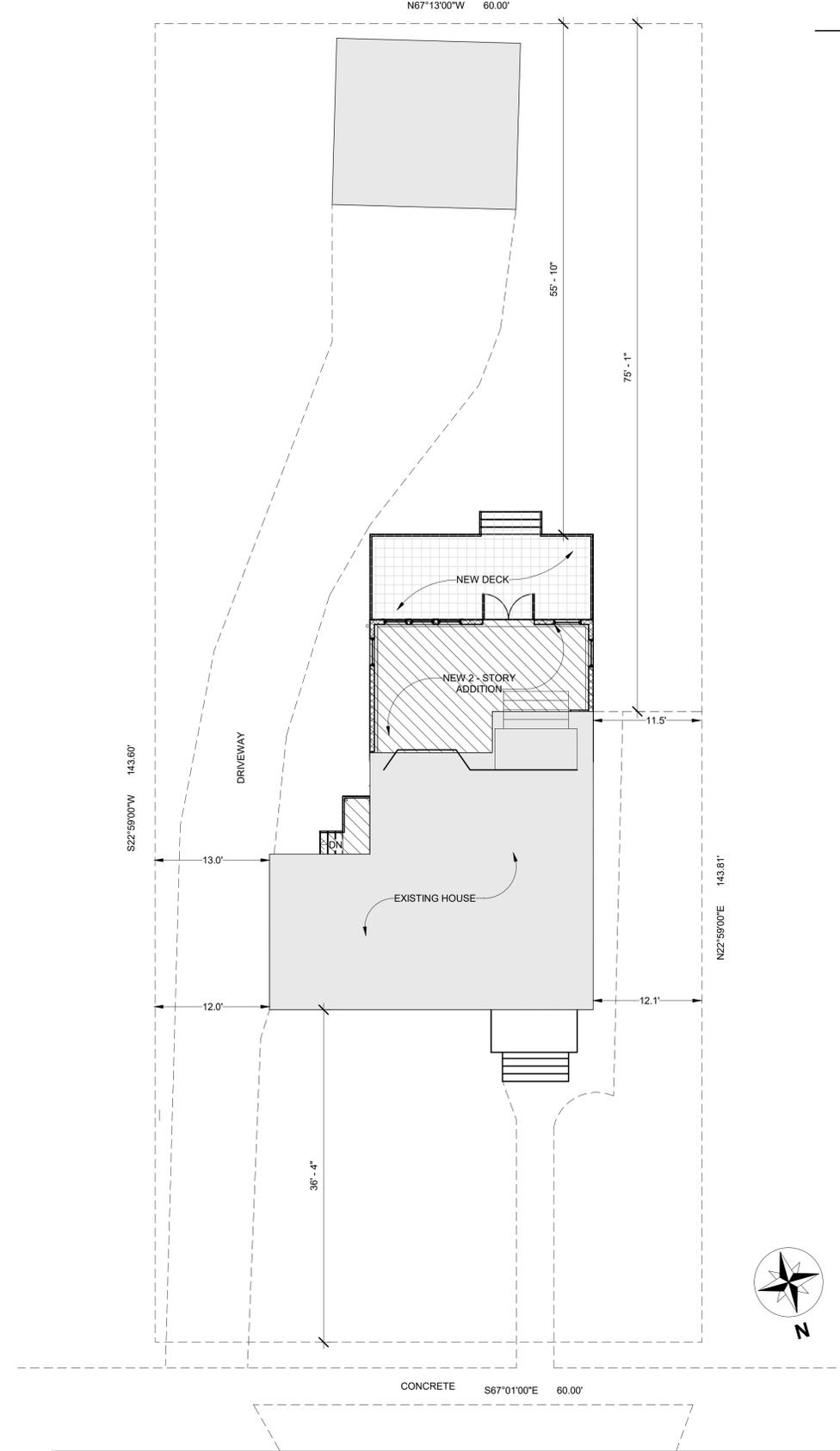
FIRST FLOOR
 NEW POWDER ROOM, KITCHEN, FAMILY ROOM IN NEW ADDITION PLUS A DECK.
 NEW ELECTRICAL. EXISTING BACK EXTERIOR WALL WILL BE REMOVED AND REPLACED WITH A BEAM.

SECOND FLOOR
 REPLACE FIXTURES AND FINISHES IN (E) HALL BATH. NEW MASTER SUITE IN THE ADDITION. NEW CLOSET IN EXISTING BEDROOM. NEW ELECTRICAL.

THIRD FLOOR
 NEW BEDROOM AND CLOSET IN EXISTING ATTIC.
 NEW BATHROOM IN ATTIC ADDITION.
 NEW ELECTRICAL + LIGHTING.

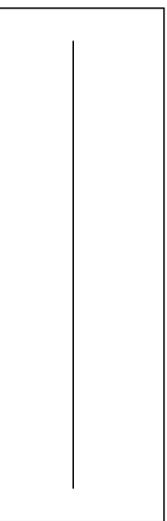
SHEET LIST

- T-1 TITLE SHEET
- A-1 ENTRY FLOOR PLAN
- A-2 SECOND FLOOR PLAN
- A-3 ATTIC FLOOR PLAN
- A-4 EXTERIOR ELEVATIONS
- E-1 ELECTRICAL AND LIGHTING PLAN (BASEMENT + FIRST FLOOR + THIRD FLOOR)
- P-1 PLUMBING RISER DIAGRAM AND SUPPLY DIAGRAM
- S-1 FOUNDATION PLAN FLOOR FRAMING PLANS, AND WALL SECTION
- S-2 STRUCTURAL DETAILS



1-0 Site Plan
 1/8" = 1'-0"

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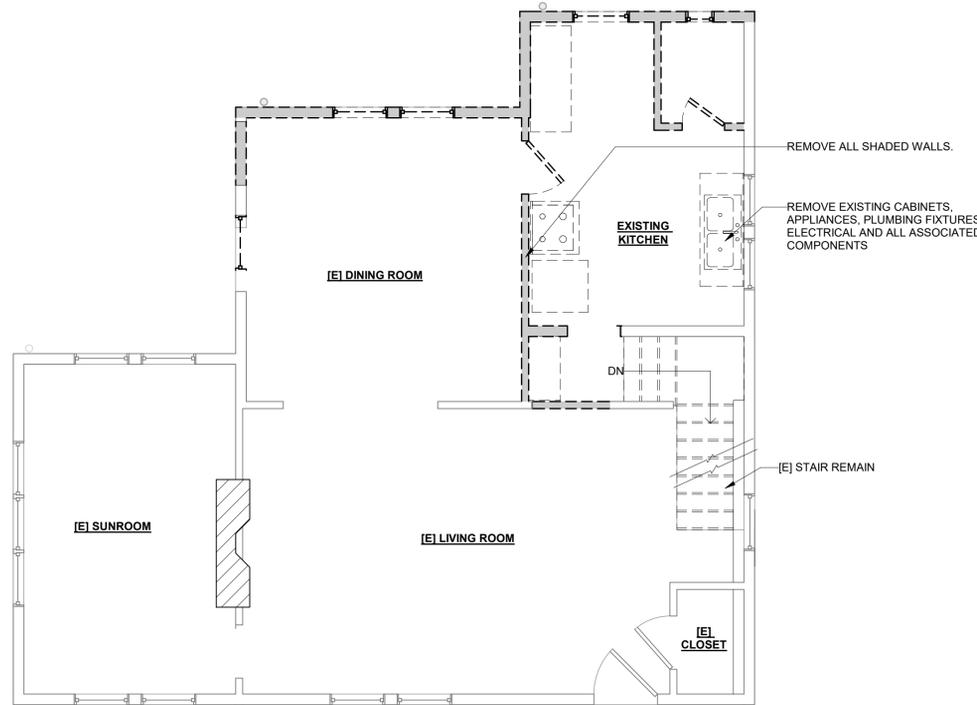


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Door Schedule				
Mark	Width	Height	Description	Level
02	3'-0"	6'-8"	Single	First Floor
03	2'-4"	6'-8"	Single	First Floor
04	5'-8"	6'-8"	Double Glass French Door	First Floor
05	2'-6"	6'-8"	Single	Second Level
06	2'-6"	6'-8"	Single	Second Level
07	2'-6"	6'-8"	Single	Second Level
08	2'-6"	6'-8"	Single	Second Level
09	2'-4"	6'-8"	Single	Second Level
10	3'-0"	6'-8"	Single	Third Floor Plan

Window Schedule						
Mark	Width	Height	Head Height	Family	Comments	Level
01	3'-0"	4'-0"	7'-0"	Double Hung WEBER		First Floor
02	3'-0"	4'-0"	7'-0"	Double Hung WEBER		First Floor
3A	2'-6"	6'-0"	6'-4"	Double Hung WEBER		First Floor
4A	2'-6"	6'-0"	6'-4"	Double Hung WEBER		First Floor
5A	2'-6"	6'-0"	6'-4"	Double Hung WEBER		First Floor
06	3'-0"	5'-0"	6'-8"	Double Hung WEBER		First Floor
07	3'-0"	4'-0"	6'-8"	Double Hung WEBER		First Floor
8A	2'-7"	4'-4"	6'-8"	Double Hung WEBER		Second Level
8B	2'-7"	4'-4"	6'-8"	Double Hung WEBER		Second Level
09	3'-0"	3'-6"	6'-9"	Double Hung		Second Level
10	3'-0"	3'-6"	6'-9"	Double Hung		Second Level
11	3'-0"	4'-0"	6'-8"	Double Hung WEBER		Second Level
12	3'-0"	4'-0"	6'-8"	Double Hung WEBER		Second Level
13	3'-0"	4'-0"	6'-8"	Double Hung WEBER		Second Level
14	2'-0"	2'-0"	6'-8"	Casement without Trim.0001		Second Level
15	3'-2 1/2"	2'-1 1/8"	6'-8"	Marvin_Awning_Window_with_Trim_9975		Third Floor Plan
17	2'-6"	1'-6"	8'-2"	colonial grill window		First Floor
18	2'-6"	1'-6"	8'-2"	colonial grill window		First Floor
19	2'-6"	1'-6"	8'-2"	colonial grill window		First Floor



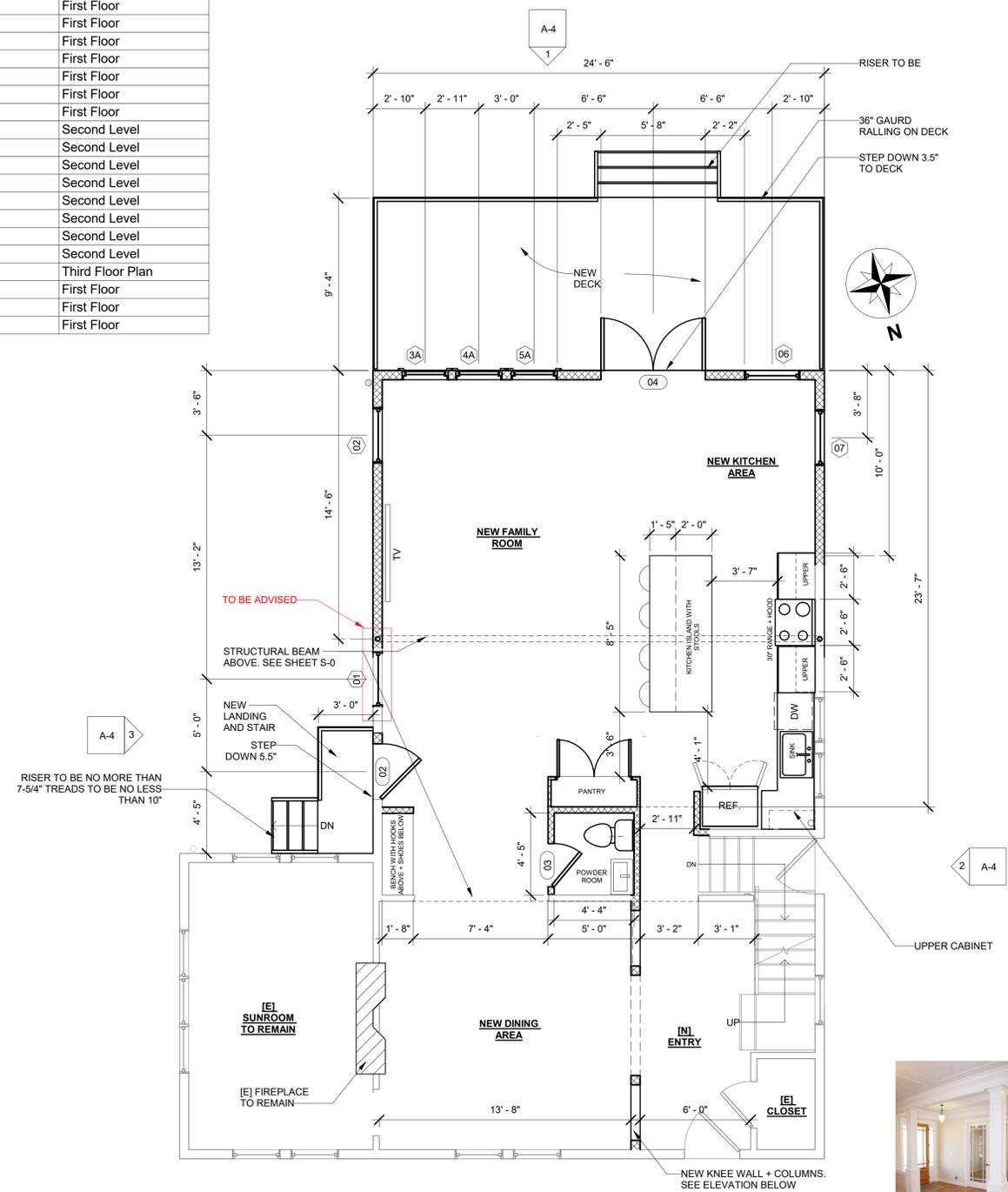
1 Existing + Demo Plan - Entry Floor
1/4" = 1'-0"

FIRST FLOOR PLAN NOTES:

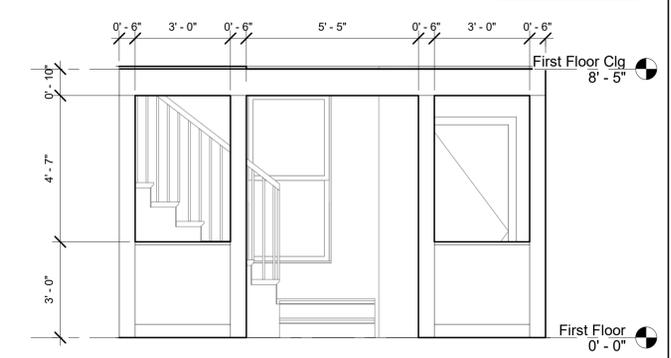
- All dimensions and wall locations are depicted as accurately as site conditions would allow via visual inspection
- Dimensions provided are to face of finish, unless noted otherwise.
- All new electric to match existing unless noted otherwise
- Coordinate repair or selection and installation of mechanical equipment (furnace, water heater, etc.) with hvac contractor
- Consult with architect for any deficiencies (i.e. Excessive notching or cutting of structural members, etc.) uncovered not identified on drawings.

WALL LEGEND

- = EXISTING WALL
- = NEW 2x6 WOOD FRAMED WALL W/ 1/2" GYP EACH SIDE
- = EXISTING WALL TO BE DEMOLISHED



2 Proposed - Entry Floor
1/4" = 1'-0"



3 ELEVATION OF KNEE WALL
3/8" = 1'-0"

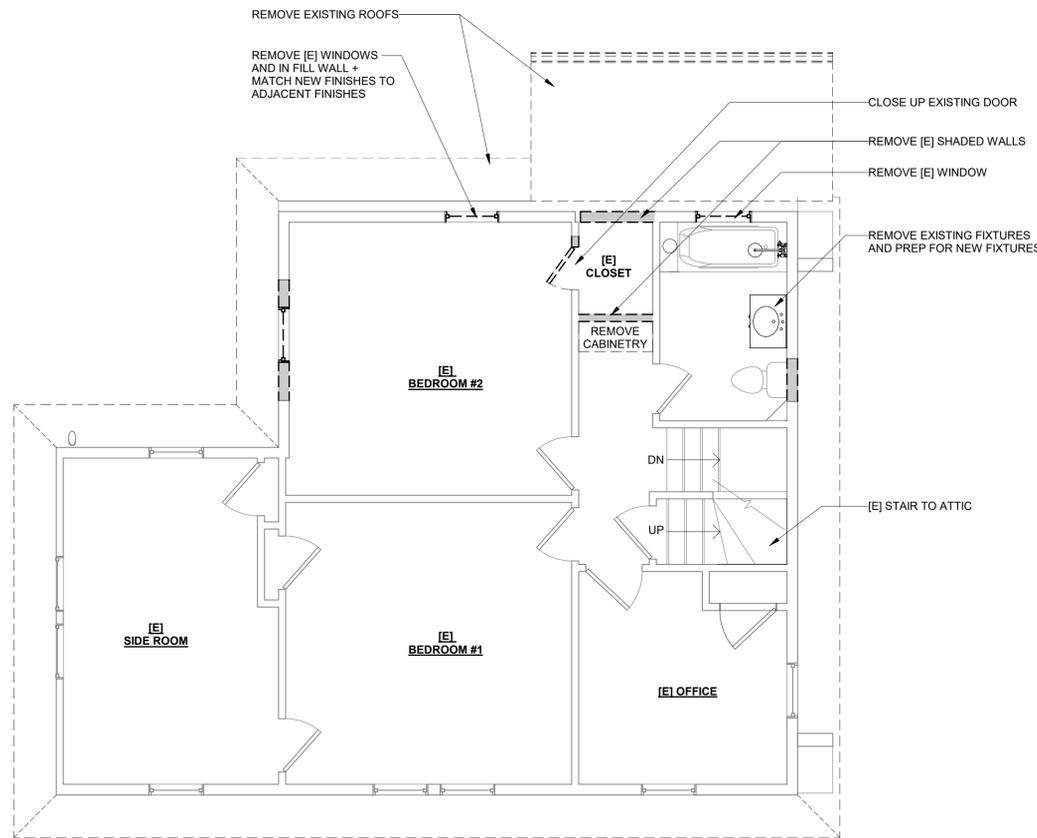


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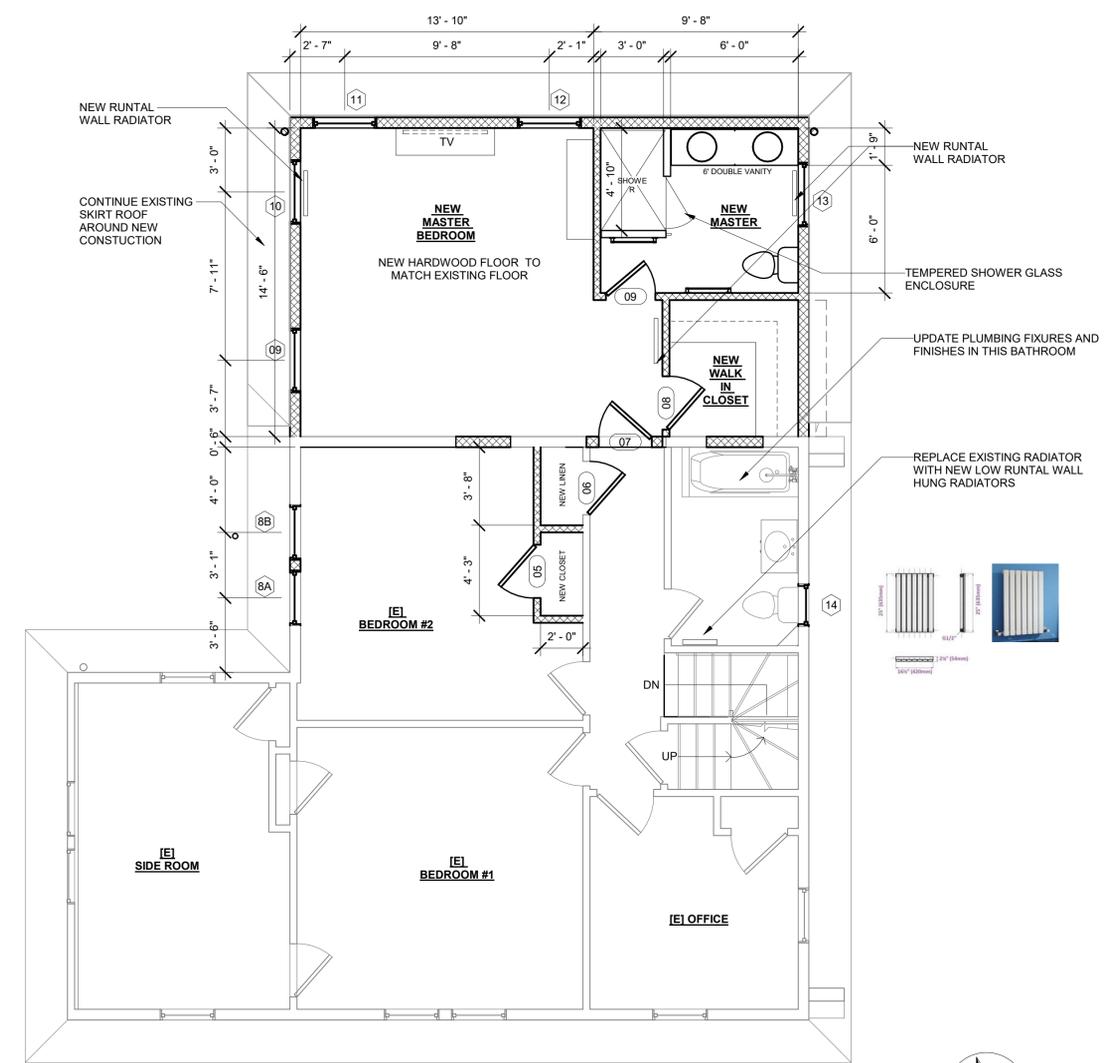
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① Existing- Second Level
1/4" = 1'-0"



② Proposed- Second Level
1/4" = 1'-0"

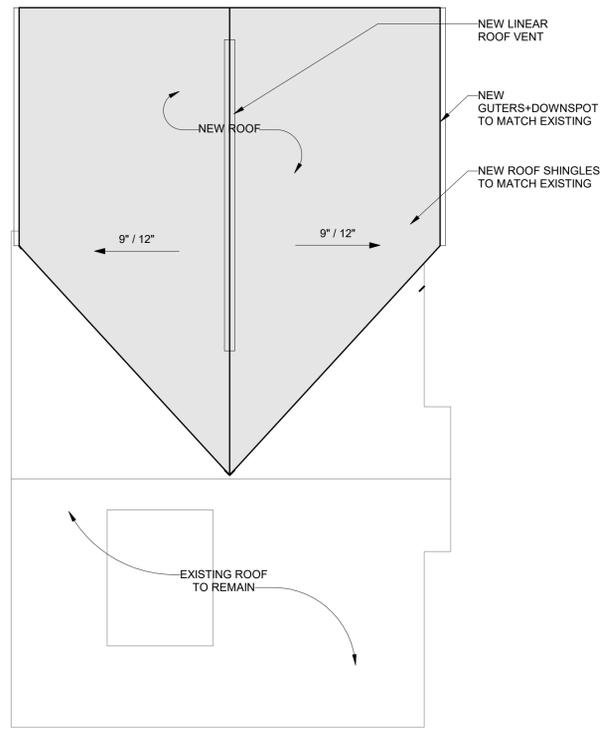


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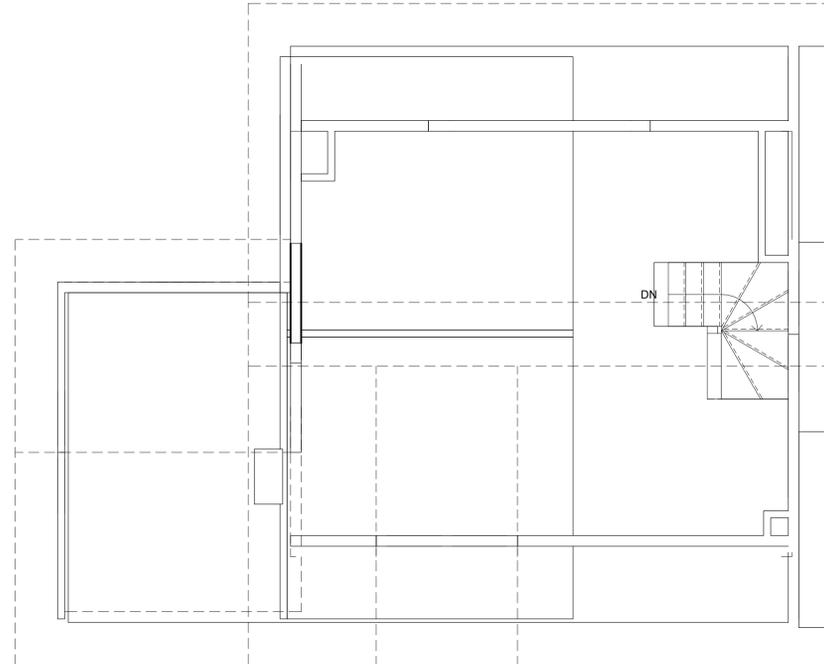
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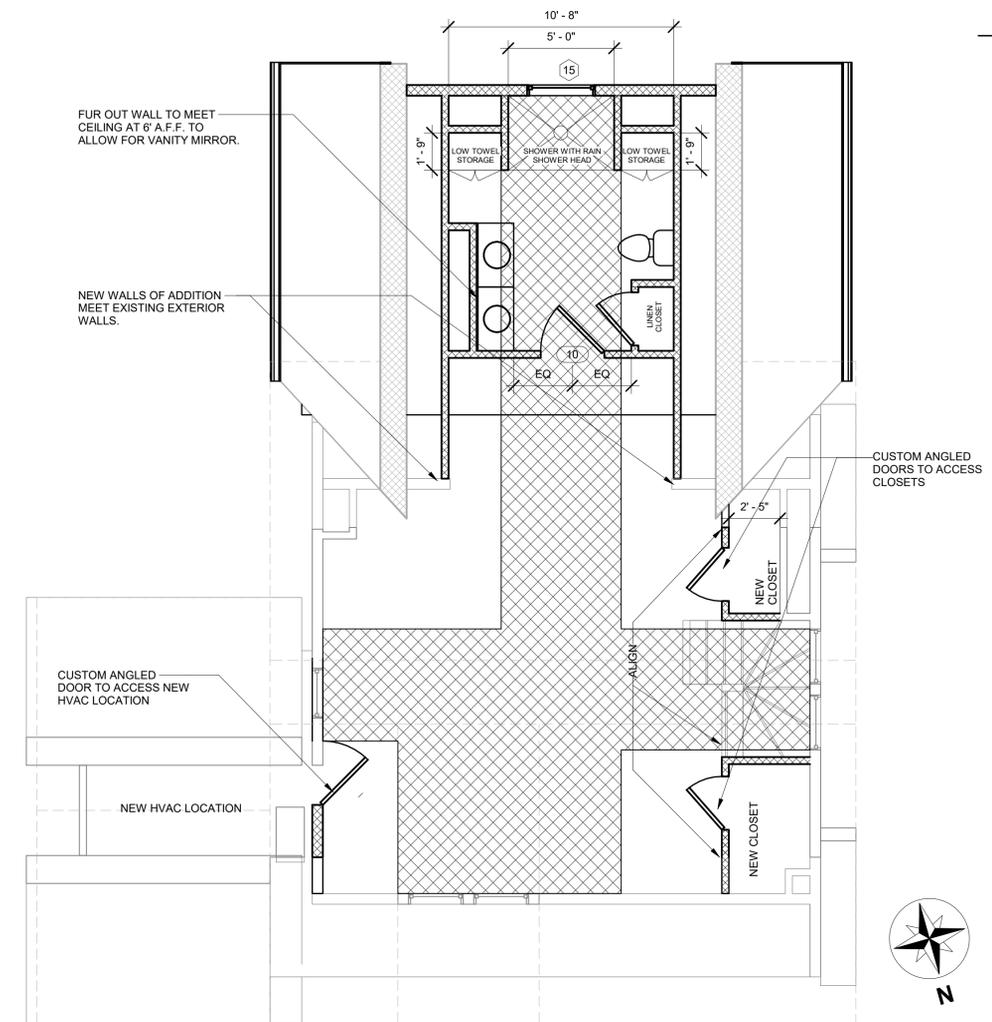
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1 Roof Plan
3/16" = 1'-0"



2 Existing- Third Floor Plan
1/4" = 1'-0"



3 Proposed- Attic Floor Plan
1/4" = 1'-0"

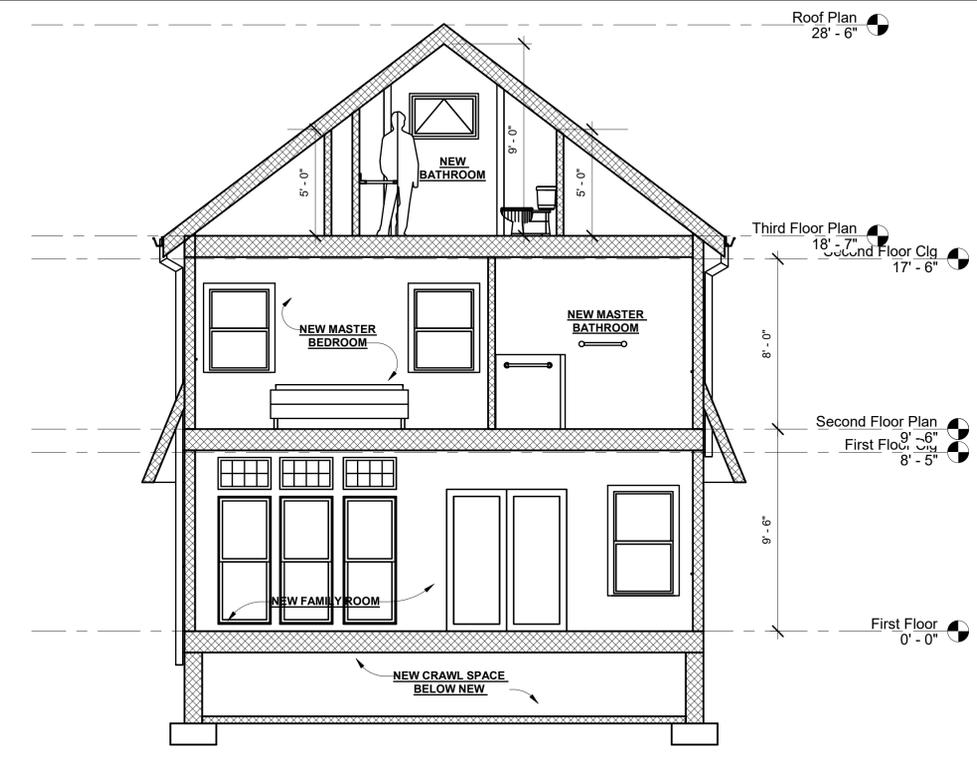
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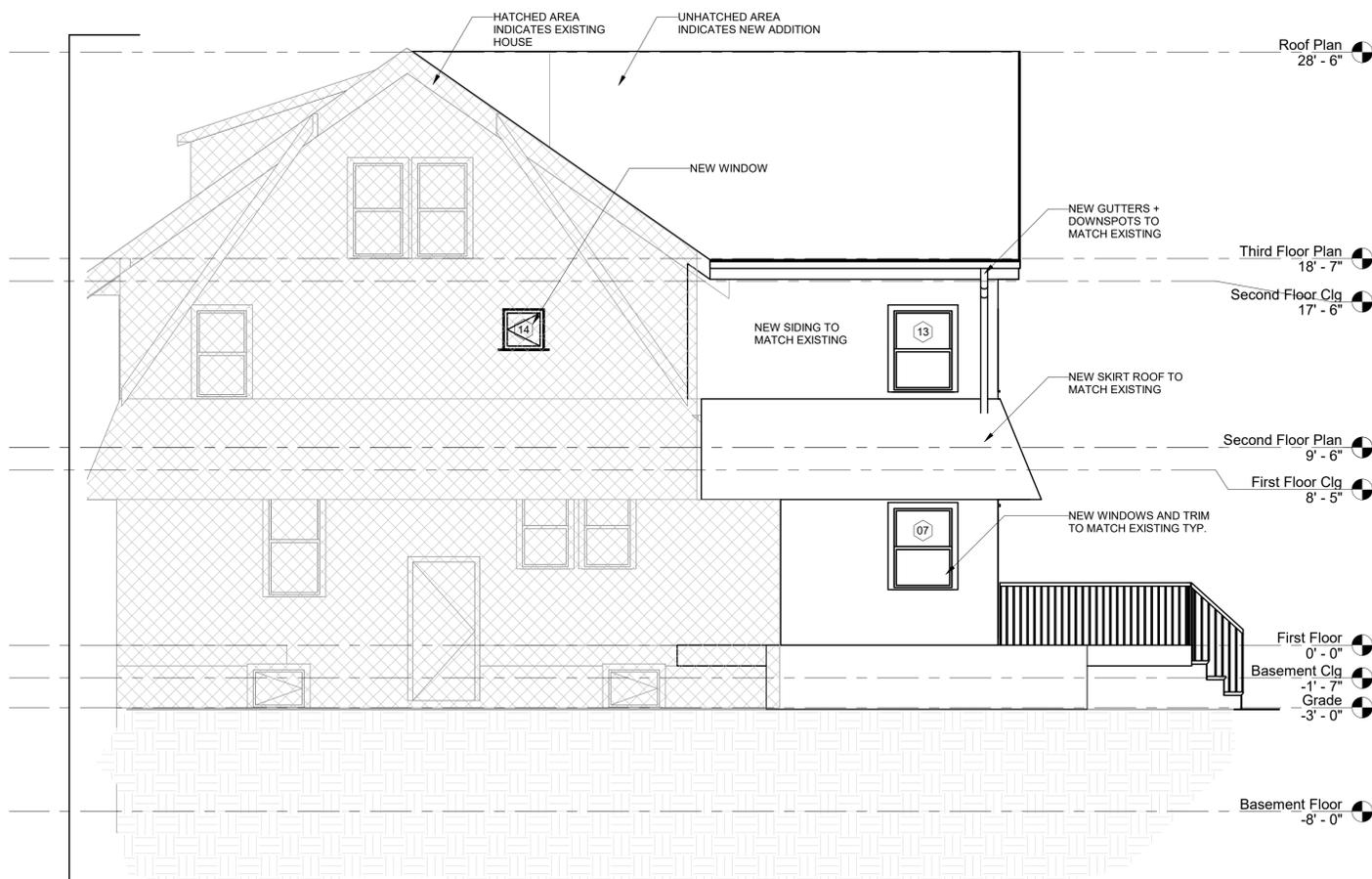
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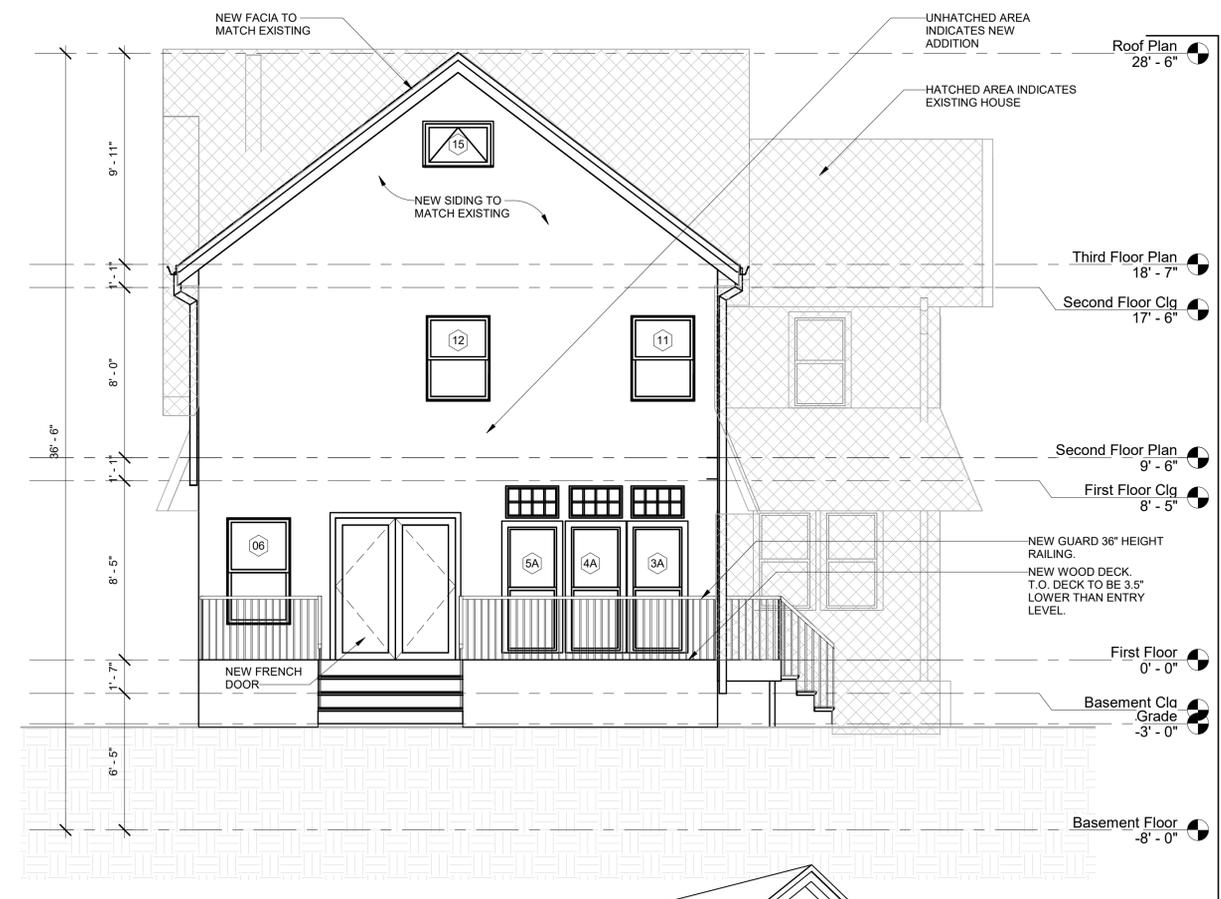
4 Section 4
1/4" = 1'-0"



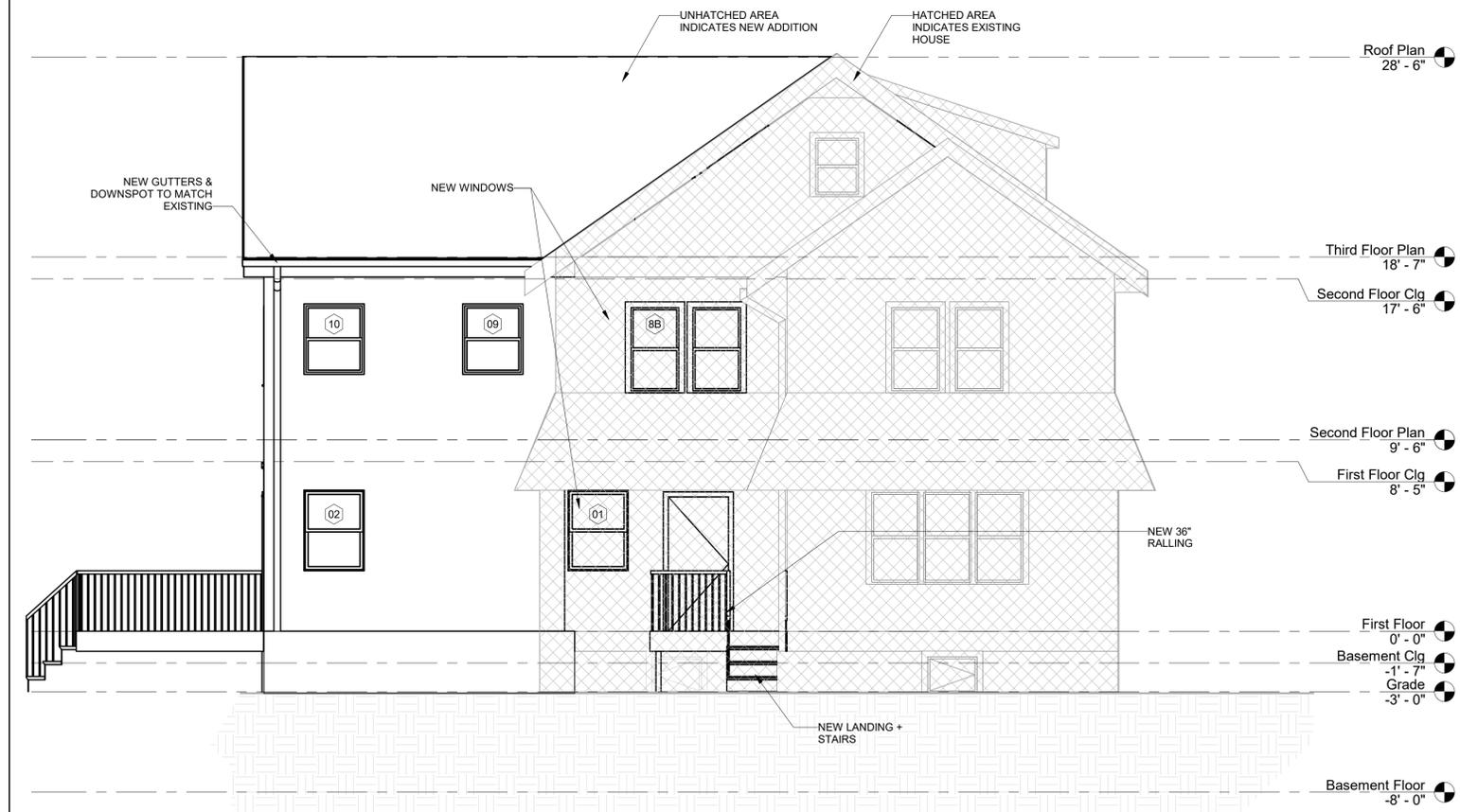
5 Section 5
1/4" = 1'-0"



2 WEST (SIDE) EXTERIOR ELEVATION
1/4" = 1'-0"



1 PROPOSED-SOUTH (BACK) EXTERIOR ELEVATION
1/4" = 1'-0"



3 EAST (SIDE) EXTERIOR ELEVATION
1/4" = 1'-0"



4 3D View From Backyard



PHOTO OF EXISTING WEST (SIDE) ELEVATION



PHOTO OF EXISTING SOUTH (BACK) ELEVATION

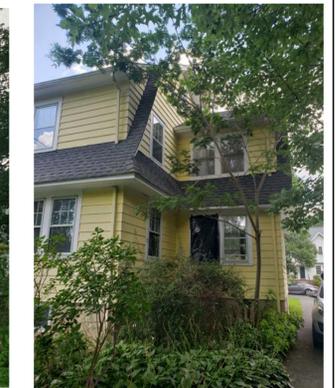


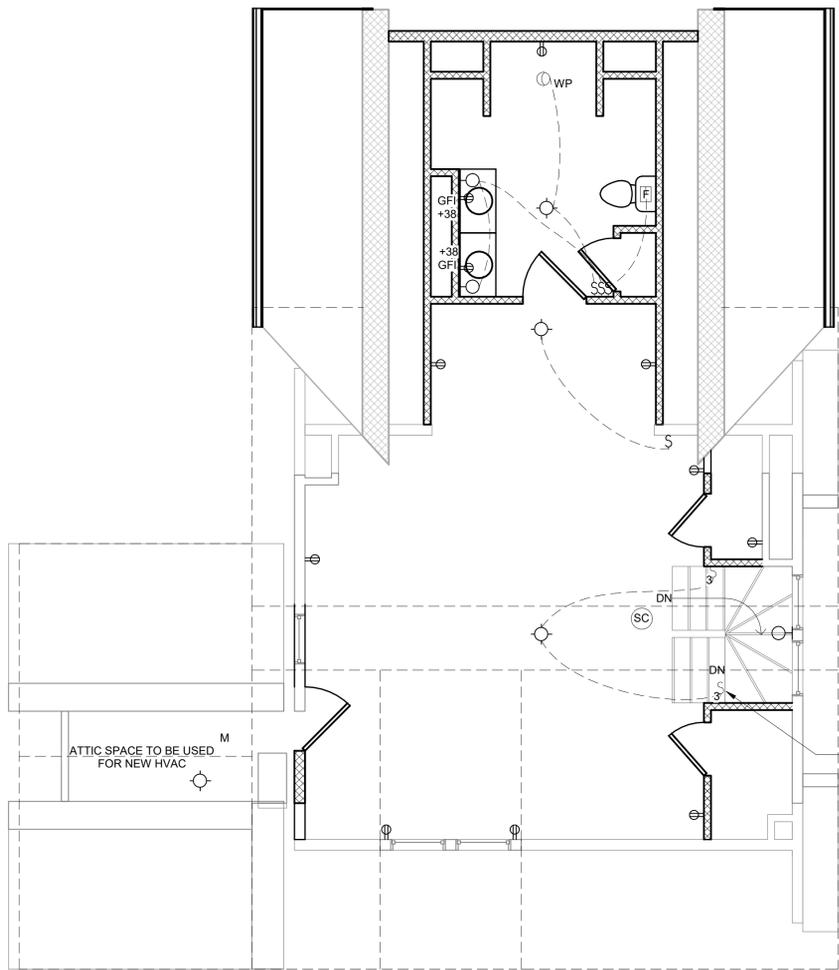
PHOTO OF EXISTING NORTH WEST CORNER OF HOUSE

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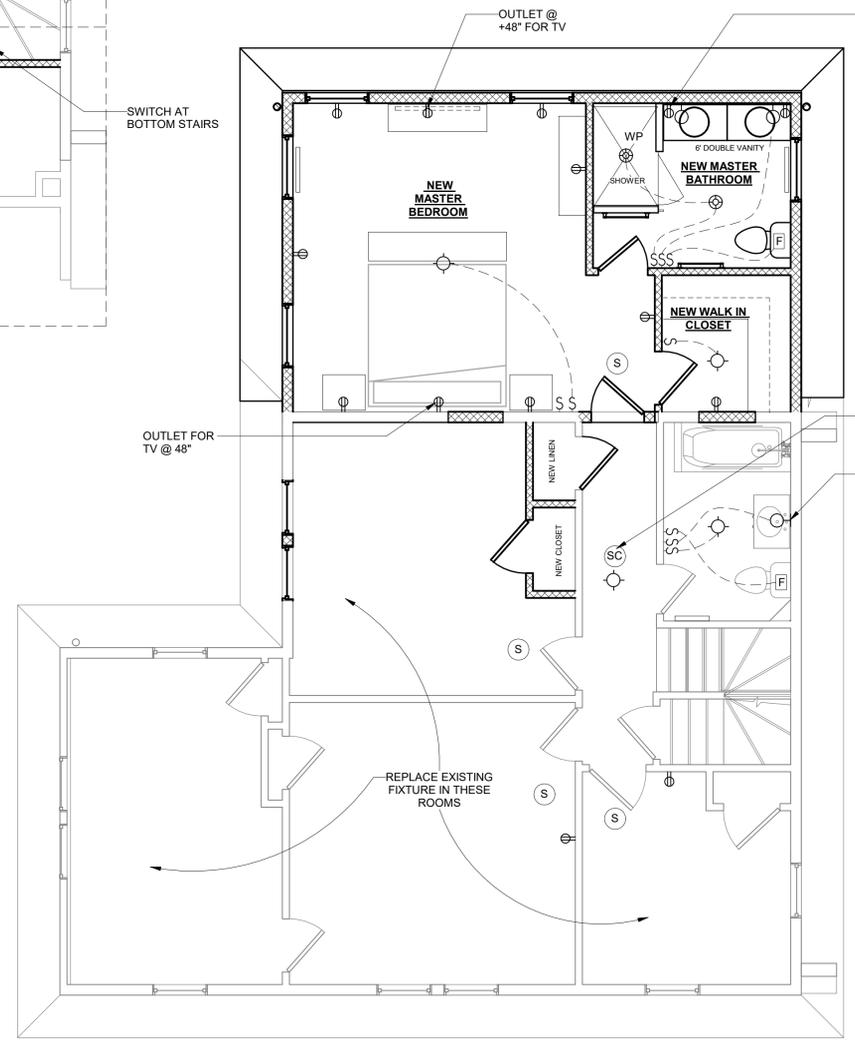
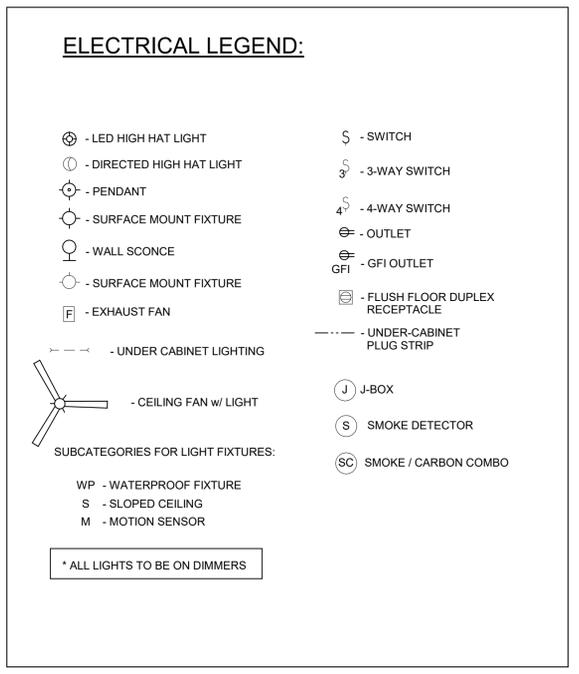
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SCALE	1/4" = 1'-0"
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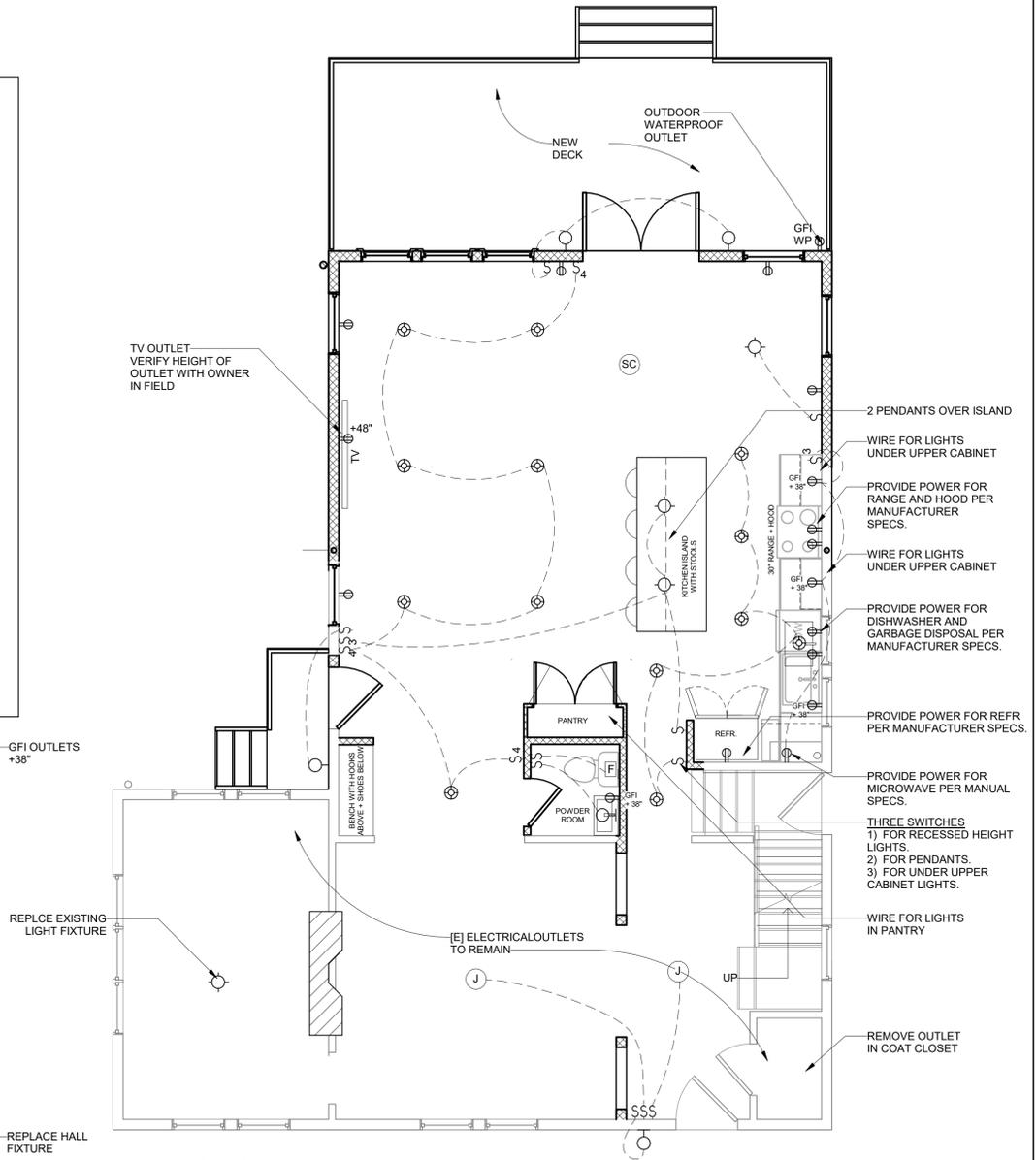
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④ Electric- Third Floor Plan
1/4" = 1'-0"



③ Electrical- Second Level
1/4" = 1'-0"



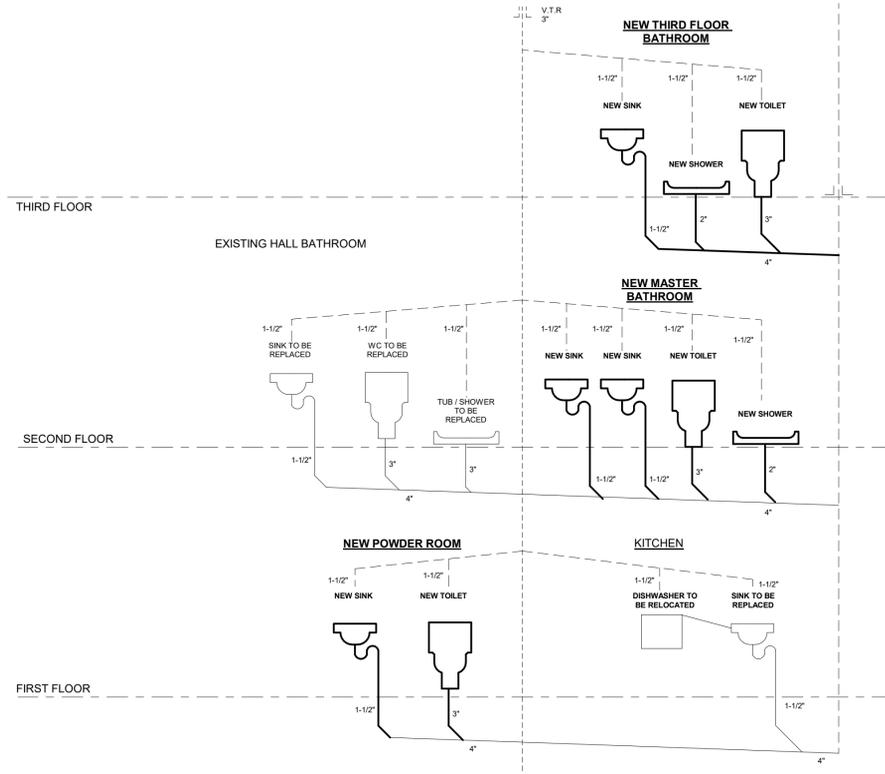
② Electrical Plan - Entry Level
1/4" = 1'-0"

ELECTRICAL NOTES:

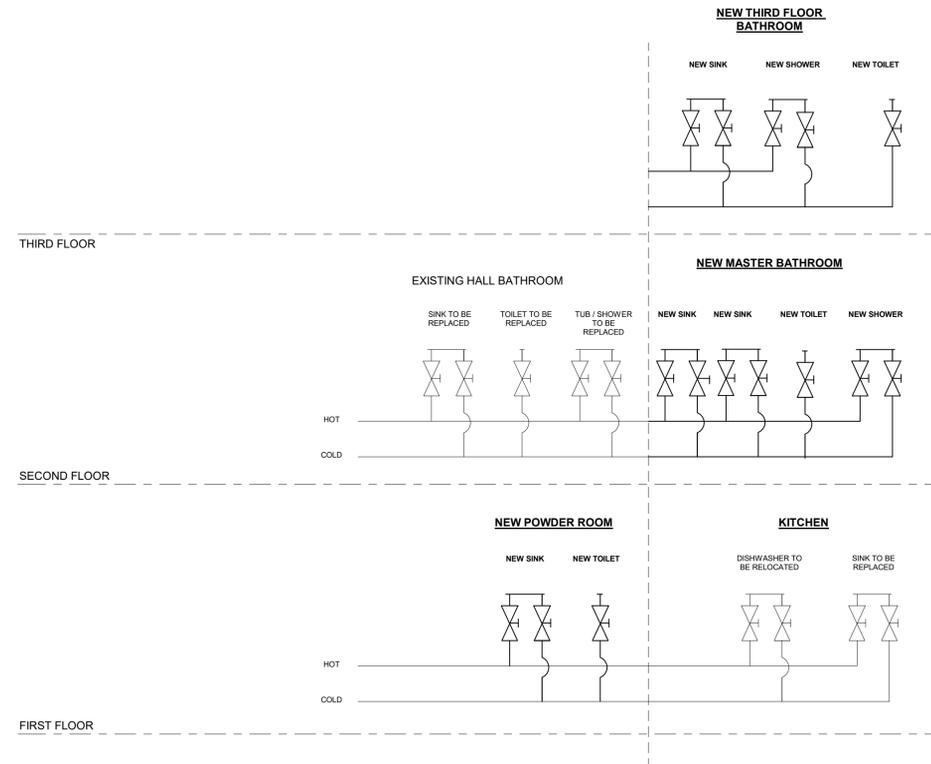
1. IF NOT ALREADY INSTALLED, PROVIDE SMOKE ALARMS IN THE FOLLOWING LOCATIONS: ON EACH LEVEL OF THE STRUCTURE AND OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND LOCATED ON OR NEAR THE CEILING. BATTERY OPERATED UNITS ARE SHALL BE PERMITTED. (5:23-6.6(f))
2. IF NOT ALREADY INSTALLED, PROVIDE CARBON MONOXIDE ALARMS IN THE FOLLOWING LOCATIONS: OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS (5:23-6.6(g) & IRC R-315)
3. NOTE: WHEN REPLACING KNOB + TUBE ELECTRICAL MOVE ALL OUTLETS FROM BASEBOARD TO THE WALL OUT.

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SCALE	1/4" = 1'-0"
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PLUMBING RISER DIAGRAM



SUPPLY DIAGRAM



PLUMBING NOTES

1. PLUMBING INFORMATION SHOWN IS SCHEMATIC ONLY. ACTUAL INSTALLATION SHALL COMPLY WITH ALL GOVERNING CODES. ANY ADDITION INFORMATION THAT MAY BE REQUIRED BY LOCAL SUBCODE SHALL BE PROVIDED BY PLUMBING CONTRACTOR.
2. PLUMBING INFORMATION UTILIZING 2015 NATIONAL STANDARD PLUMBING CODE TABLE B.5.2.
3. EXTEND HOT AND COLD WATERLINES FROM THE EXISTING SERVICE TO THE NEW FIXTURES SHOWN ON DRAWINGS
4. SUPPLY LINES SHALL BE 1/2" DIAMETER COPPER WITH SWEAT-SOLDERED JOINTS OR 1/2" DIAMETER PEX PIPING.
5. SANITY WASTE LINE FROM THE NEW FIXTURES SHALL CONNECT INTO THE EXISTING WASTE WATER DISPOSAL SYSTEM. WASTE LINE MAY BE COPPER OR PLASTIC. PROVIDE CLEANOUTS IN CHANGES OF THE DIRECTION OF THE FLOW.
6. PROVIDE WATER SUPPLY AND DRAINAGE FITTINGS FOR ALL FIXTURES ARE SELECTED BY THE OWNER.

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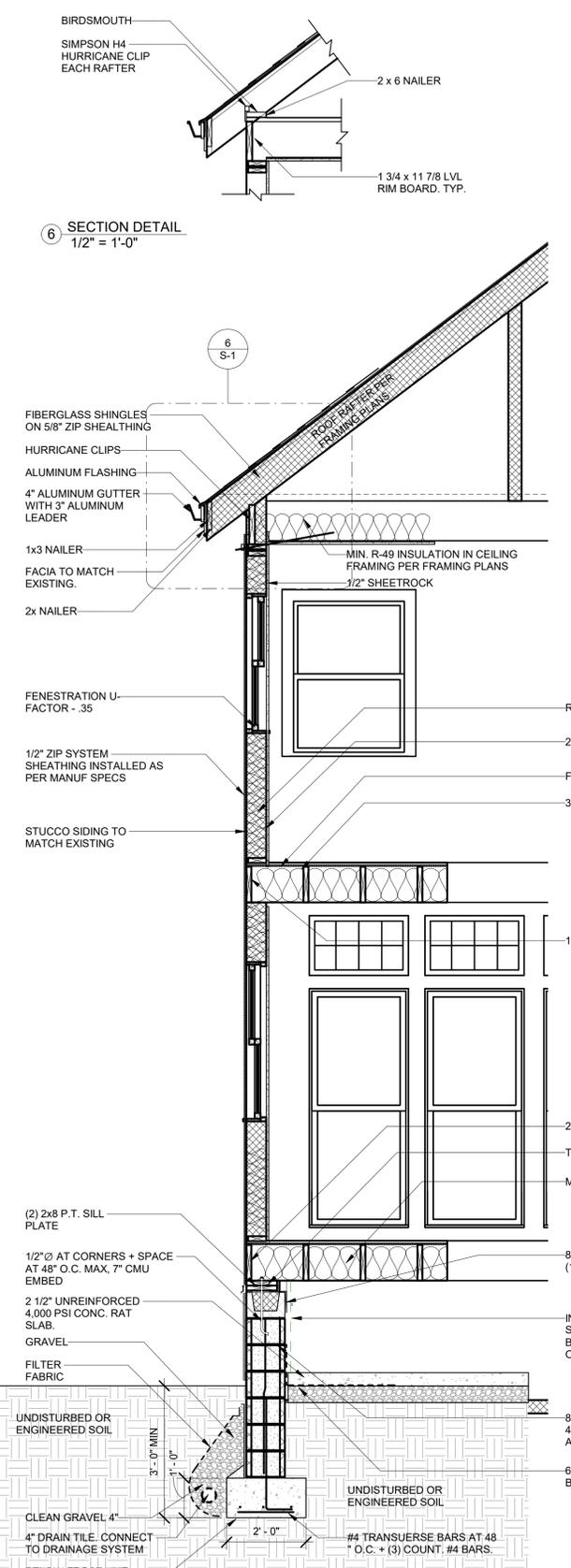
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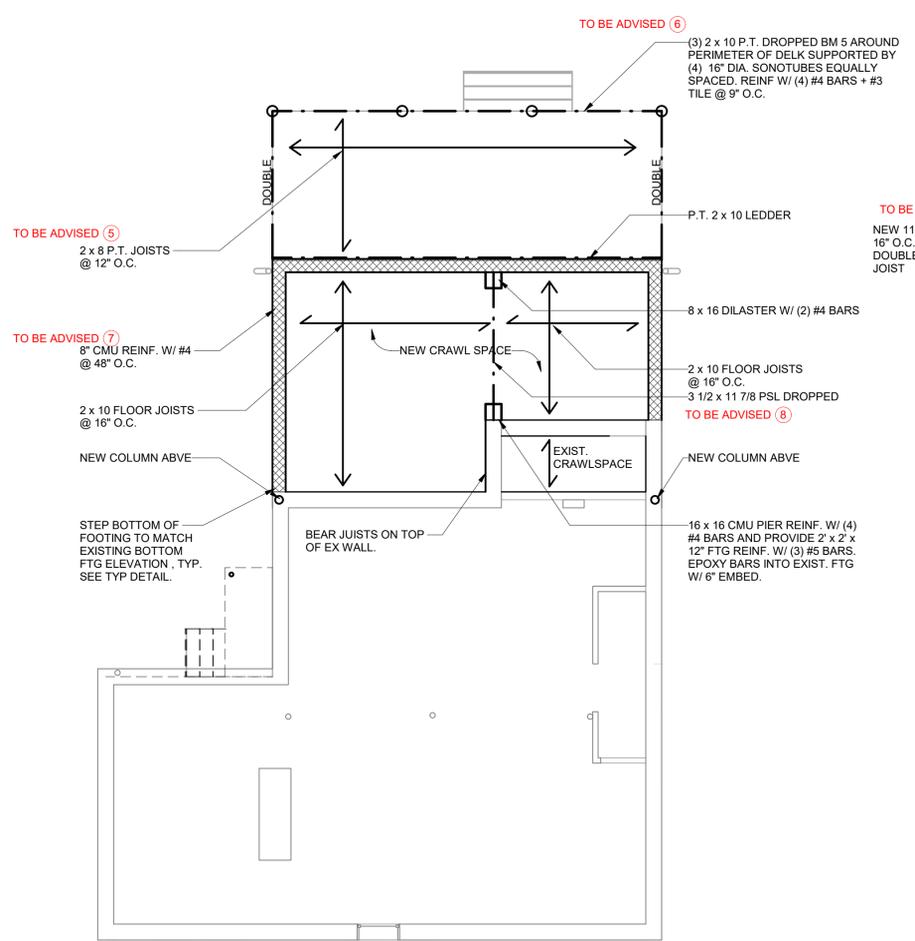
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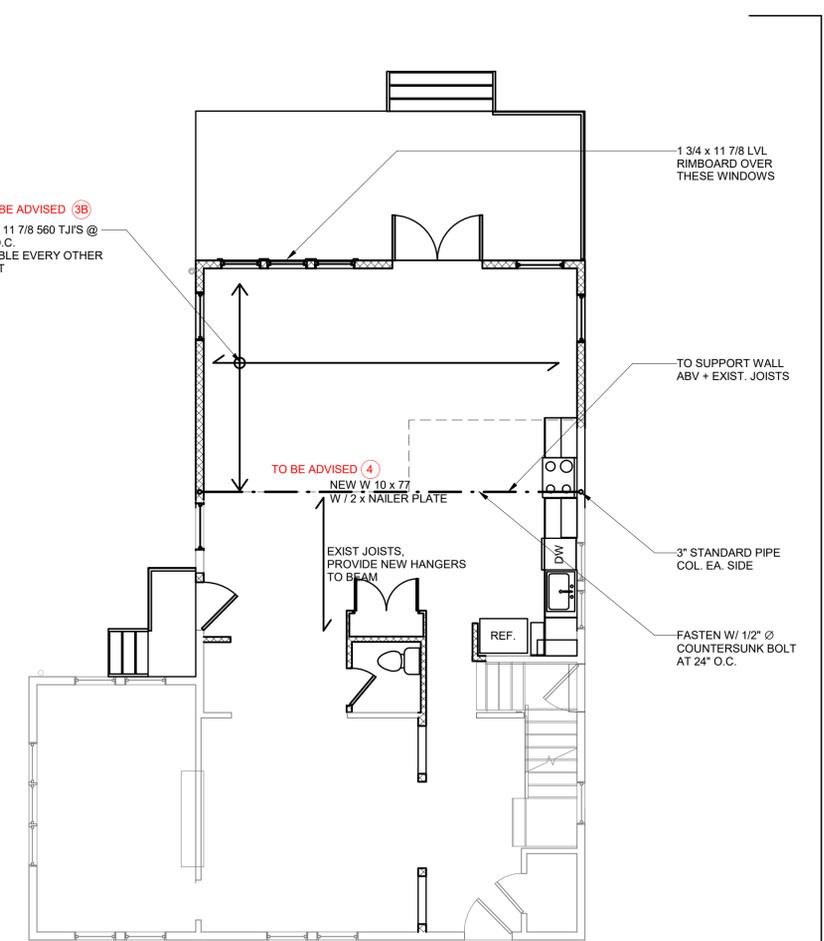
6 SECTION DETAIL
1/2" = 1'-0"



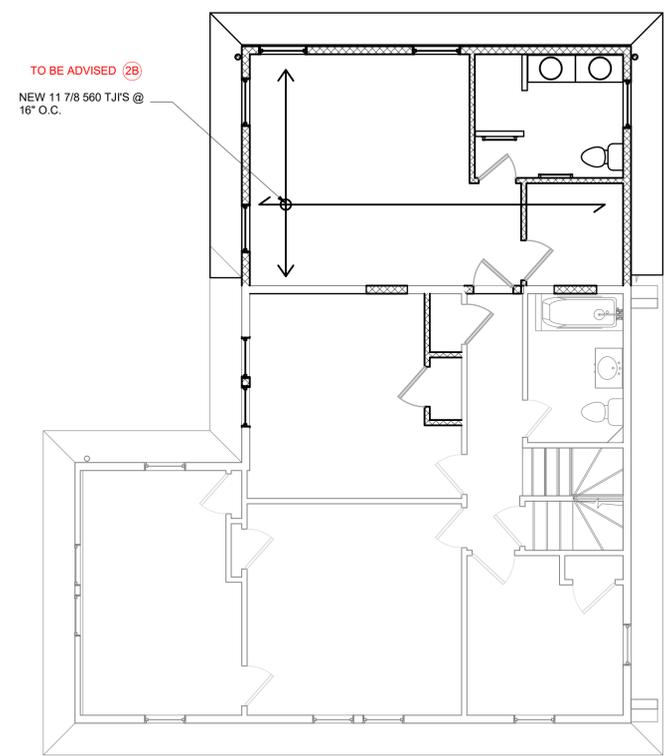
5 Wall Section
1/2" = 1'-0"



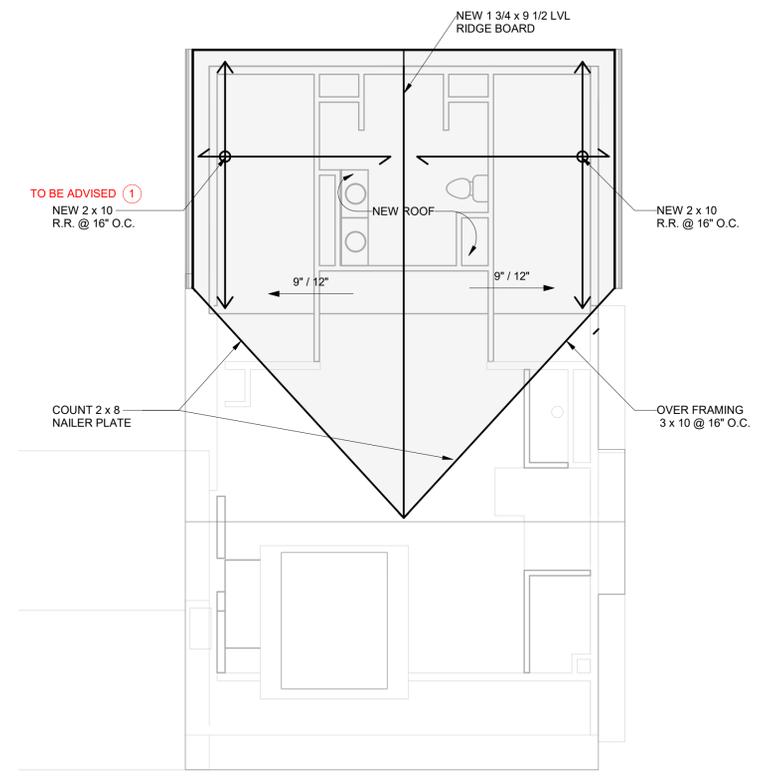
1 Structural - Basement Floor
3/16" = 1'-0"



2 11 Structural - Second Floor Framing Plan
3/16" = 1'-0"



3 12 Structural - Third Floor Framing Plan
3/16" = 1'-0"



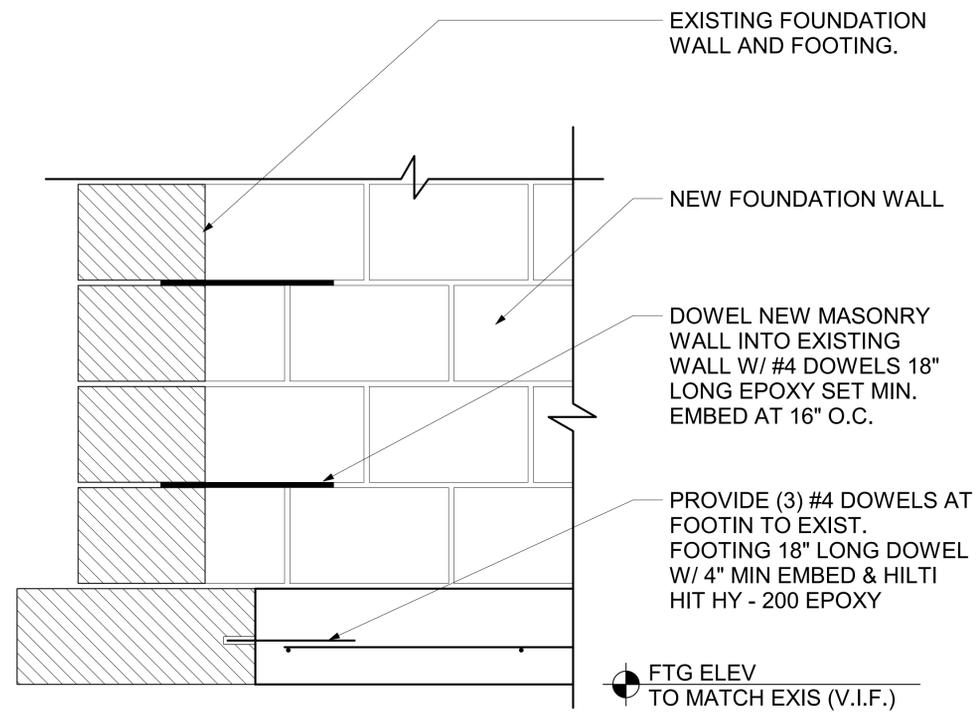
4 Structural - Roof Plan
3/16" = 1'-0"

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① DETAIL AT CONNX TO EXIST WALL (CMU TO CMU)
3/4" = 1'-0"

FTG ELEV
TO MATCH EXIS (V.I.F.)

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DATE	
SCALE	3/4" = 1'-0"
JOB	
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S-3